



## **PROPOSED SENIORS** LIVING ESTATE

LOT 17 DP 1210621 (Formerly Part Lot 100 DP 751279), 43 Old Saddleback Road, KIAMA NSW

SITE LAYOUT - DETAIL

for WERITON PROPERTIES





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## **LEGEND**

 accessible pathway in accordance with SEPP SL gradients
 direction of rise of pavement gradient of ramp/ path/ road





# PROPOSED SENIORS LIVING ESTATE

LOT 17 DP 1210621 (Formerly Part Lot 100 DP 751279), 43 Old Saddleback Road, KIAMA NSW <u>SITE PLAN - DETAIL</u> <u>HOUSES 4, 5, 6, 7, 14, 15</u> <u>& 16</u>





## **LEGEND**

 accessible pathway in accordance with SEPP SL gradients
 direction of rise of pavement
 gradient of ramp/ path/ road







for WERITON PROPERTIES



BASIX Projec	ct Commitments			
Proposed:	Multi-dwelling houses			
Address:	43 Old Saddleback Road, Ki	ama NSW 2533		
Lot No / DP:	100/751279			
Water (All dwe Fixtures	ellings)		Specification	
Shower head ra	ating		3 star (> 4.5 but <= 6 L/min	)
Foilet rating			4 star	
Kitchen taps ra	ting		3 star	
Bathroom taps	rating		3 star	
Alternative wat	ter details < size for every single dwelling		3000L	
	Garden and lawn areas		Yes	
Johneeted to.	All toilets		Yes	
	Laundry		Yes	
Thermal Comfo External walls	ort		Requirements	
		All houses excl. 19 & 20,		
Brick veneer		onselected walls as per plans	Medium colour, R1.5Bulk +	Foil (reflective both sides)
		Houses 1, 7, 8, 10, 11, 12 ,13,		
Weatherboard		17, 18, 19, 20 & 21,	Medium colour, R2.1Bulk +	Foil (reflective both sides)
		onselected walls as per plans		
nternal walls				
	ect fix plasterboard	All houses	No insulation	
Partition walls Brick plasterbr	aard		No insulation	
Brick, plasterbo	Jard		No insulation	
Ceiling				
ů.	g - Plasterboard	All houses	R4.0 bulk insulation	
Roof			Liebt Calaum (a alam a baa mut	
Corrugated iro	n	All houses	Light Colour (solar absorpt	ance <0.475) sulk + Foil, Reflective Side Down, Anti-glare up)
			Anticon blanket fir K1.0 (b	and From, Reflective Side Down, And gate up)
Floors				
Comonante el el e	on ground	All houses	No insulation	
concrete slab c	0			
		Units 7, 8, 9, 10, 11, 12, 18,	R1.0 bulk insulation	
		Units 7, 8, 9, 10, 11, 12, 18, 19, 20 & 21	R1.0 bulk insulation	
Suspended con			R1.0 bulk insulation	
Concrete slab c Suspended con Windows	icrete slab			ar with U-value 4.8 and SHGC 0.51 for Group A windows (awning,
Suspended con Windows Aluminium frar	ncrete slab me ALM-003-01	19, 20 & 21	Double glazed, Air Fill, Clea bifold, casement and tilt 'n	' turn type windows/doors)
Suspended con Windows Aluminium frar	icrete slab	19, 20 & 21 All houses; awning windows	Double glazed, Air Fill, Clea bifold, casement and tilt 'n	' turn type windows/doors)
Suspended con Windows Aluminium frar	ncrete slab me ALM-003-01	19, 20 & 21 All houses; awning windows and hinge doors	Double glazed, Air Fill, Clea bifold, casement and tilt 'n	' turn type windows/doors)
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Suspended con <u>Windows</u> Aluminium frar Aluminium frar Downlights	ncrete slab me ALM-003-01 me ALM-004-01	19, 20 & 21 All houses; awning windows and hinge doors	Double glazed, Air Fill, Clea bifold, casement and tilt 'n Double glazed, Air Fill, Clea	' turn type windows/doors) rr with U-value 4.8 and SHGC 0.59 for Group B windows (double hung,
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Suspended con <u>Windows</u> Aluminium frar Aluminium frar Downlights Downlight Cove Lighting specifi Dovershadowing Site Drientation of i * Approved fire bathrooms, e If ADDITIONA NatHERS prot Energy (All Dw Hot water Individual syste <u>Ventilation</u> Bathroom exha Control swi Laundry Control swi	errete slab me ALM-003-01 me ALM-004-01 ers cation g details nominal north elevation eproof downlight covers HAVI ensuites and internal laundry's LL downlights are fitted or are tocols. Contact the assessor a ellings) em aust tch	19, 20 & 21 All houses; awning windows and hinge doors All houses; sliding E been specified, which can be ful s) at the rate of 0.04 meters squar not LED, this certification will be	Double glazed, Air Fill, Clea bifold, casement and tilt 'n Double glazed, Air Fill, Clea Approved fireproof downli, All kitchen/living/hallways Adjoining units calculated i As shown on plans ly covered by insulation. Ceil red per exhaust fan penetrat invalid unless insulation is ac Specification Gas instantaneous Individual fan, not ducted Manual switch on/off Individual fan, not ducted	' turn type windows/doors) rr with U-value 4.8 and SHGC 0.59 for Group B windows (double hung ght covers must be installed to all downlights in ceilings where on this project will install 100mm diameter LED downlights at a rate of into model calculations ling penetrations for exhaust dampers have been allowed (to all ion. dded in compliance with NCC (BCA) Vol 2, 2014. Table 3.12.1.1 (b) and Rating
Suspended con <u>Windows</u> Aluminium frar Aluminium frar Downlights Downlight Cove Lighting specifi Overshadowing Site Orientation of 1 * Approved fire bathrooms, e If ADDITIONA NatHERS prot Energy (All Dw Hot water Individual syste Control swi Control swi Kitchen exhaus Control swi Laundry Control swi Cooling	errete slab me ALM-003-01 me ALM-004-01 ers cation g details nominal north elevation eproof downlight covers HAVI ensuites and internal laundry's LL downlights are fitted or are tocols. Contact the assessor a ellings) em aust tch	19, 20 & 21 All houses; awning windows and hinge doors All houses; sliding E been specified, which can be ful s) at the rate of 0.04 meters squar not LED, this certification will be	Double glazed, Air Fill, Clea bifold, casement and tilt 'n Double glazed, Air Fill, Clea Approved fireproof downli, All kitchen/living/hallways Adjoining units calculated i As shown on plans ly covered by insulation. Ceil red per exhaust fan penetrat invalid unless insulation is ac Specification Gas instantaneous Individual fan, not ducted Manual switch on/off Individual fan, not ducted	' turn type windows/doors) rr with U-value 4.8 and SHGC 0.59 for Group B windows (double hung ght covers must be installed to all downlights in ceilings where on this project will install 100mm diameter LED downlights at a rate of into model calculations ling penetrations for exhaust dampers have been allowed (to all ion. dded in compliance with NCC (BCA) Vol 2, 2014. Table 3.12.1.1 (b) and Rating
Suspended con <u>Windows</u> Aluminium frar Aluminium frar Downlights Downlight Cove Lighting specific Divershadowing Site Drientation of it * Approved fire bathrooms, e If ADDITIONA NatHERS prot Energy (All Dw Hot water Individual syste Control swi Kitchen exhaus Control swi Laundry Control swi Laundry Control swi Control	erete slab me ALM-003-01 me ALM-004-01 ers cation g details nominal north elevation eproof downlight covers HAVI ensuites and internal laundry's AL downlights are fitted or are tocols. Contact the assessor a ellings) em aust itch itch itch	19, 20 & 21 All houses; awning windows and hinge doors All houses; sliding E been specified, which can be ful s) at the rate of 0.04 meters squar not LED, this certification will be	Double glazed, Air Fill, Clea bifold, casement and tilt 'n Double glazed, Air Fill, Clea Approved fireproof downli, All kitchen/living/hallways Adjoining units calculated i As shown on plans ly covered by insulation. Ceil red per exhaust fan penetrat invalid unless insulation is ac Specification Gas instantaneous Individual fan, not ducted Manual switch on/off Individual fan, not ducted Manual switch on/off	' turn type windows/doors) rr with U-value 4.8 and SHGC 0.59 for Group B windows (double hung ght covers must be installed to all downlights in ceilings where on this project will install 100mm diameter LED downlights at a rate of into model calculations ling penetrations for exhaust dampers have been allowed (to all ion. ided in compliance with NCC (BCA) Vol 2, 2014. Table 3.12.1.1 (b) and Rating 6 star
Suspended con <u>Windows</u> Aluminium frar Aluminium frar Downlights Downlight Cove Lighting specifi Overshadowing Site Overshadowing Site Orientation of i * Approved fire bathroom s, e If ADDITIONA NatHERS prot Energy (All Dw Hot water Individual syste Nathron swi Control swi Control swi Control swi Cooling Individual syste Individual syste	errete slab me ALM-003-01 me ALM-004-01 ers ccation g details nominal north elevation eproof downlight covers HAVI ensuites and internal laundry's L downlights are fitted or are tocols. Contact the assessor a ellings) em aust tch tch tch ems - living areas	19, 20 & 21 All houses; awning windows and hinge doors All houses; sliding E been specified, which can be ful s) at the rate of 0.04 meters squar not LED, this certification will be	Double glazed, Air Fill, Clea bifold, casement and tilt 'n Double glazed, Air Fill, Clea Approved fireproof downli, All kitchen/living/hallways Adjoining units calculated i As shown on plans ly covered by insulation. Ceil red per exhaust fan penetrat invalid unless insulation is ac Specification Gas instantaneous Individual fan, not ducted Manual switch on/off Individual fan, not ducted Manual switch on/off Individual fan, not ducted Manual switch on/off	' turn type windows/doors) rr with U-value 4.8 and SHGC 0.59 for Group B windows (double hung ght covers must be installed to all downlights in ceilings where on this project will install 100mm diameter LED downlights at a rate of into model calculations           ling penetrations for exhaust dampers have been allowed (to all ion.           dded in compliance with NCC (BCA) Vol 2, 2014. Table 3.12.1.1 (b) and Rating           6 star           5 star
Suspended con <u>Windows</u> Aluminium frar Aluminium frar Downlights Downlight Cove Lighting specifi Overshadowing Site Orientation of 1 * Approved fire bathrooms, e If ADDITIONA NatHERS prot Energy (All Dw Hot water Individual syste Individual syste Individual syste Individual syste Heating	errete slab me ALM-003-01 me ALM-004-01 ers cation g details nominal north elevation eproof downlight covers HAVI ensuites and internal laundry's AL downlights are fitted or are tocols. Contact the assessor a ellings) em aust ttch ttch ttch ems - living areas ems - bedroom areas	19, 20 & 21 All houses; awning windows and hinge doors All houses; sliding E been specified, which can be ful s) at the rate of 0.04 meters squar not LED, this certification will be	Double glazed, Air Fill, Clea bifold, casement and tilt 'n Double glazed, Air Fill, Clea Approved fireproof downli, All kitchen/living/hallways Adjoining units calculated i As shown on plans ly covered by insulation. Ceil red per exhaust fan penetrat invalid unless insulation is ac <u>Specification</u> Gas instantaneous Individual fan, not ducted Manual switch on/off Individual fan, not ducted Manual switch on/off Individual fan, not ducted Manual switch on/off	' turn type windows/doors) rr with U-value 4.8 and SHGC 0.59 for Group B windows (double hung ght covers must be installed to all downlights in ceilings where on this project will install 100mm diameter LED downlights at a rate of into model calculations ling penetrations for exhaust dampers have been allowed (to all ion. ided in compliance with NCC (BCA) Vol 2, 2014. Table 3.12.1.1 (b) and Rating 6 star
Suspended con <u>Windows</u> Aluminium frar Aluminium frar Downlights Downlight Cove Lighting specifi Dovershadowing Site Drientation of i * Approved fire bathrooms, e If ADDITIONA NatHERS prot Energy (All Dw Hot water Individual syste Control swi Control swi Cont	errete slab me ALM-003-01 me ALM-004-01 ers cation g details nominal north elevation eproof downlight covers HAVI ensuites and internal laundry's L downlights are fitted or are tocols. Contact the assessor a ellings) em aust itch itch itch ems - living areas ems - living areas ems - living areas	19, 20 & 21 All houses; awning windows and hinge doors All houses; sliding E been specified, which can be ful s) at the rate of 0.04 meters squar not LED, this certification will be	Double glazed, Air Fill, Clea bifold, casement and tilt 'n Double glazed, Air Fill, Clea Approved fireproof downli, All kitchen/living/hallways Adjoining units calculated i As shown on plans ly covered by insulation. Ceil red per exhaust fan penetrat invalid unless insulation is ac Specification Gas instantaneous Individual fan, not ducted Manual switch on/off Individual fan, not ducted Manual switch on/off 1-phase airconditioning 1-phase airconditioning	<sup>1</sup> turn type windows/doors) rr with U-value 4.8 and SHGC 0.59 for Group B windows (double hung ght covers must be installed to all downlights in ceilings where on this project will install 100mm diameter LED downlights at a rate of into model calculations           ling penetrations for exhaust dampers have been allowed (to all ion.           dded in compliance with NCC (BCA) Vol 2, 2014. Table 3.12.1.1 (b) and 6 star           5 star           5 star
Suspended con <u>Windows</u> Aluminium frar Aluminium frar Downlights Downlight Cove Lighting specifi Dovershadowing Site Drientation of i * Approved fire bathrooms, e If ADDITIONA NatHERS prot Energy (All Dw Hot water Individual syste Control swi Control swi Cont	errete slab me ALM-003-01 me ALM-004-01 ers cation g details nominal north elevation eproof downlight covers HAVI ensuites and internal laundry's AL downlights are fitted or are tocols. Contact the assessor a ellings) em aust ttch ttch ttch ems - living areas ems - bedroom areas	19, 20 & 21 All houses; awning windows and hinge doors All houses; sliding E been specified, which can be ful s) at the rate of 0.04 meters squar not LED, this certification will be	Double glazed, Air Fill, Clea bifold, casement and tilt 'n Double glazed, Air Fill, Clea Approved fireproof downli, All kitchen/living/hallways Adjoining units calculated i As shown on plans ly covered by insulation. Ceil red per exhaust fan penetrat invalid unless insulation is ac <u>Specification</u> Gas instantaneous Individual fan, not ducted Manual switch on/off Individual fan, not ducted Manual switch on/off Individual fan, not ducted Manual switch on/off	<sup>1</sup> turn type windows/doors) rr with U-value 4.8 and SHGC 0.59 for Group B windows (double hung ght covers must be installed to all downlights in ceilings where on this project will install 100mm diameter LED downlights at a rate of into model calculations ling penetrations for exhaust dampers have been allowed (to all ion. ided in compliance with NCC (BCA) Vol 2, 2014. Table 3.12.1.1 (b) and Rating 6 star
Suspended con <u>Windows</u> Aluminium frar Aluminium frar Downlights Downlight Cove 	errete slab me ALM-003-01 me ALM-004-01 ers cation g details nominal north elevation eproof downlight covers HAVI ensuites and internal laundry's L downlights are fitted or are tocols. Contact the assessor a ellings) em aust itch itch itch ems - living areas ems - living areas ems - living areas	19, 20 & 21 All houses; awning windows and hinge doors All houses; sliding E been specified, which can be ful s) at the rate of 0.04 meters squar not LED, this certification will be	Double glazed, Air Fill, Clea bifold, casement and tilt 'n Double glazed, Air Fill, Clea Approved fireproof downli, All kitchen/living/hallways Adjoining units calculated i As shown on plans ly covered by insulation. Ceil red per exhaust fan penetrat invalid unless insulation is ac Specification Gas instantaneous Individual fan, not ducted Manual switch on/off Individual fan, not ducted Manual switch on/off 1-phase airconditioning 1-phase airconditioning	<sup>1</sup> turn type windows/doors) rr with U-value 4.8 and SHGC 0.59 for Group B windows (double hung ght covers must be installed to all downlights in ceilings where on this project will install 100mm diameter LED downlights at a rate of into model calculations           ling penetrations for exhaust dampers have been allowed (to all ion.           dded in compliance with NCC (BCA) Vol 2, 2014. Table 3.12.1.1 (b) and 6 star           5 star           5 star
Suspended con <u>Windows</u> Aluminium frar Aluminium frar Downlights Downlight Cove Lighting specifi Dovershadowing Site Drientation of it * Approved fire bathrooms, e If ADDITIONA NatHERS prot Energy (All Dw Hot water Individual syste Individual syste	errete slab me ALM-003-01 me ALM-004-01 ers cation g details nominal north elevation eproof downlight covers HAVI ensuites and internal laundry's L downlights are fitted or are tocols. Contact the assessor a ellings) em aust itch itch itch ems - living areas ems - living areas ems - living areas	19, 20 & 21 All houses; awning windows and hinge doors All houses; sliding E been specified, which can be ful s) at the rate of 0.04 meters squar not LED, this certification will be	Double glazed, Air Fill, Clea bifold, casement and tilt 'n Double glazed, Air Fill, Clea Approved fireproof downli, All kitchen/living/hallways Adjoining units calculated i As shown on plans ly covered by insulation. Ceil red per exhaust fan penetrat invalid unless insulation is ac Specification Gas instantaneous Individual fan, not ducted Manual switch on/off Individual fan, not ducted Manual switch on/off 1-phase airconditioning 1-phase airconditioning	<sup>1</sup> turn type windows/doors) rr with U-value 4.8 and SHGC 0.59 for Group B windows (double hung ght covers must be installed to all downlights in ceilings where on this project will install 100mm diameter LED downlights at a rate of into model calculations ling penetrations for exhaust dampers have been allowed (to all ion. ided in compliance with NCC (BCA) Vol 2, 2014. Table 3.12.1.1 (b) and Rating 6 star 5 star 5 star 5 star 5 star 5 star
Suspended con <u>Windows</u> Aluminium frar Aluminium frar Downlights Downlight Cove Lighting specifi Dovershadowing Site Drientation of i * Approved fire bathrooms, e If ADDITIONA NatHERS prot Energy (All Dw Hot water Individual syste Control swi Control swi Cont	erete slab me ALM-003-01 me ALM-004-01 ers cation g details nominal north elevation eproof downlight covers HAVI ensuites and internal laundry's L downlights are fitted or are tocols. Contact the assessor a ellings) em aust itch itch itch itch itch itch itch itc	19, 20 & 21 All houses; awning windows and hinge doors All houses; sliding E been specified, which can be ful s) at the rate of 0.04 meters squar not LED, this certification will be	Double glazed, Air Fill, Clea bifold, casement and tilt 'n Double glazed, Air Fill, Clea Approved fireproof downli, All kitchen/living/hallways Adjoining units calculated i As shown on plans ly covered by insulation. Ceil red per exhaust fan penetrat invalid unless insulation is ac <u>Specification</u> Gas instantaneous Individual fan, not ducted Manual switch on/off Individual fan, not ducted Manual switch on/off I-phase airconditioning 1-phase airconditioning	<sup>1</sup> 'turn type windows/doors) rr with U-value 4.8 and SHGC 0.59 for Group B windows (double hung ght covers must be installed to all downlights in ceilings where on this project will install 100mm diameter LED downlights at a rate of into model calculations          ling penetrations for exhaust dampers have been allowed (to all ion.         ided in compliance with NCC (BCA) Vol 2, 2014. Table 3.12.1.1 (b) and 6 star         S star         5 star         5 star         5 star

				:0	b	e	st	e	pł	ne	en	S
	CSA JOB NO. : 6	10-12-331	a	r	С	h	i	t	е	С	t	S
-	SCALES as shown	No. IN SET 6 of 17			PO BO	REET X 2072	BOV	VRAL	NSW	/ 2576		
	DATE 16-10-19	SHEET NUMBER				Fax 0 Registration	on 6922 A	lison Ste	phens Arc	chitects Re	egistratio	
ŀ	DRAWN BY	HP01		SCAL	SE DRA				I PREP		5.0 7 FOR	



A1 0 10 20 30 40 50 60 70 80 90 100 ALL DIMENSIONS TO BE CHECKED ON SITE

	BASIX Project Commitments         Proposed:       Multi-dwelling houses         Address:       43 Old Saddleback Road, Kiama NSW 2533		
	Lot No / DP: 100/751279 Water (All dwellings)	Sparification	
	Fixtures Shower head rating Toilet rating Kitchen taps rating Bathroom tage rating	Specification 3 star (> 4.5 but <= 6 L/min) 4 star 3 star 3 star	
	Bathroom taps rating Alternative water details Rainwater tank size for every single dwelling Connected to: Conden and Jawa areas	3 star 3000L Xee	
	Connected to: Garden and lawn areas All toilets Laundry	Yes Yes Yes	
	onselected wal		
IW-10	onselected wal	18, 19, 20 & 21, Medium colour, R2.1Bulk + Foil (reflective both sides)	
600 1,500	Internal walls Cavity wall, direct fix plasterboard Partition walls Brick plasterboard	All houses No insulation	
<b>-</b>	Brick, plasterboard <u>Ceiling</u> External ceiling - Plasterboard	No insulation All houses R4.0 bulk insulation	
	Roof Corrugated iron	All houses Light Colour (solar absorptance <0.475) Anticon Blanket HP R1.8 (Bulk + Foil, Reflective Side Down, Anti-glare up)	
	Floors Concrete slab on ground Suspended concrete slab Units 7, 8, 9,	All houses No insulation 10, 11, 12, 18, 10, 20, 20, 21, R1.0 bulk insulation	
	Aluminium frame ALW-003-01	19, 20 & 21 wning windows Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group A windows (ar	wning,
	the second se	nd hinge doors bifold, casement and tilt 'n' turn type windows/doors) houses; sliding Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (d	ouble hung,
	Downlights Downlight Covers Lighting specification	Approved fireproof downlight covers must be installed to all downlights in ceilings wi All kitchen/living/hallways on this project will install 100mm diameter LED downlight	
	Overshadowing details	Adjoining units calculated into model calculations	
	Site Orientation of nominal north elevation	As shown on plans	(to c <sup>11</sup>
	bathrooms, ensuites and internal laundry's) at the rate of 0.0	tification will be invalid unless insulation is added in compliance with NCC (BCA) Vol 2, 2014. Table 3.12	
	Energy (All Dwellings) Hot water Individual system	Specification Rating Gas instantaneous 6 star	
	Ventilation Bathroom exhaust Control switch	Individual fan, not ducted Manual switch on/off	
	Kitchen exhaust Control switch Laundry Control switch	Individual fan, not ducted Manual switch on/off Individual fan, not ducted Manual switch on/off	
	Cooling Individual systems - living areas Individual systems - bedroom areas	1-phase airconditioning 5 star 1-phase airconditioning 5 star	
	Heating Individual systems - living areas Individual systems - bedroom areas	1-phase airconditioning 5 star 1-phase airconditioning 5 star	
	Appliances Cooktop/oven Ventilated fridge space Private outdoor clothes drying line	Gas cooktop & electric oven Yes Yes	
	retaining wall as required	163	
retaining wall as per individu			
	existing ground	d level	
	ROAD	RESERVE	
SCALE	<sup>IOB NO. :</sup> 610-12-331 <sup>ES</sup> as shown No. IN SET 7 of	<b>17</b>	ns ts
3, DATE	16-10-19 SHEET	PO BOX 2072 BOWRAL NSW 2576 Ph 02 4869 5395 Fax 02 4869 5495 cs.arch@bigpon Andrew Coble Architects Registration 6922 Alison Stephens Architects Regist	
S, DRAW	AMS NUMBER HP02	0 1.0 2.0 3.0 4.0 5.0 SCALE THESE DRAWINGS HAVE BEEN PREPARED FOI DEVELOPMENT APPLICATION	



A1 0 10 20 30 40 50 60 70 80 90 100 ALL DIMENSIONS TO BE CHECKED ON SITE

Print date 5/11/2019

BASIX Projec	ct Commitments			
Proposed:	Multi-dwelling houses			
Address:	43 Old Saddleback Road, Ki	ama NSW 2533		
Lot No / DP:	100/751279			
Alatan (All dur	allings)			
Water (All dwe Fixtures	inings)		Specification	
Shower head r	ating		3 star (> 4.5 but <= 6 L/min	))
Toilet rating			4 star	
Kitchen taps ra			3 star	
Bathroom taps	rating		3 star	
Alternative wa	ter details			
	size for every single dwelling		3000L	
Connected to:			Yes	
	All toilets		Yes	
	Laundry		Yes	
Thermal Comf	ort			
External walls			Requirements	
Brick veneer		All houses excl. 19 & 20,	Medium colour, R1.5Bulk +	Foil (reflective both sides)
		onselected walls as per plans	,	
Weatherboard		Houses 1, 7, 8, 10, 11, 12, 13,	Medium colour B2 1Bulk	Foil (reflective both sides)
weatherboard		17, 18, 19, 20 & 21, onselected walls as per plans	Weddin colour, N2.1Dulk	Ton (renective both sides)
		onselected wans as per plans		
Internal walls				
Cavity wall, dir	ect fix plasterboard	All houses	No insulation	
Partition walls				
Partition walls Brick, plasterbe	oard		No insulation	
,				
Ceiling				
External ceiling	g - Plasterboard	All houses	R4.0 bulk insulation	
Roof				
			Light Colour (solar absorpt	ance <0.475)
Corrugated iro	n	All houses		ulk + Foil, Reflective Side Down, Anti-glare up)
Floors		A11.1	N. 1. 1. 1.	
Concrete slab o	on ground	All houses	No insulation	
Suspended cor	icrete slab	Units 7, 8, 9, 10, 11, 12, 18, 19, 20 & 21	R1.0 bulk insulation	
Windows				
Aluminium frai	me ALM-003-01	All houses; awning windows		ar with U-value 4.8 and SHGC 0.51 for Group A windows (awning,
Aluminium fra	me ALM-004-01	and hinge doors All houses; sliding		' turn type windows/doors) ar with U-value 4.8 and SHGC 0.59 for Group B windows (double hung
		An nouses, shung	Double glazed, All Till, Clea	
Downlights				
Downlight Cov	ers		Approved fireproof downli	ght covers must be installed to all downlights in ceilings where
Lighting specifi				on this project will install 100mm diameter LED downlights at a rate
Overshadowin	g details		Adjoining units calculated i	into model calculations
Site				
Orientation of	nominal north elevation		As shown on plans	
* Approved fire	enroof downlight covers HAV/	been specified which can be ful	ly covered by insulation. Ceil	ling penetrations for exhaust dampers have been allowed (to all
		at the rate of 0.04 meters squar		
				dded in compliance with NCC (BCA) Vol 2, 2014. Table 3.12.1.1 (b) an
NatHERS pro	tocols. Contact the assessor a	bove if alterations are required.		
- /				
Energy (All Dw Hot water	ellings)		Specification	Rating
Individual syste	em		Gas instantaneous	6 star
.,				
Ventilation				
Bathroom exha			Individual fan, not ducted	
Control swi Kitchen exhaus			Manual switch on/off Individual fan, not ducted	
Control swi			Manual switch on/off	
Laundry			Individual fan, not ducted	
Control swi	itch		Manual switch on/off	
C				
Cooling Individual syste	ems - living areas		1-phase airconditioning	5 star
	ems - living areas ems - bedroom areas		1-phase airconditioning	5 star 5 star
Individual svsta			,	
Individual syste				
Heating	ams - living areas		1-phase airconditioning	5 star
Heating Individual syste			1-phase airconditioning	5 star
Heating Individual syste	ems - bedroom areas			
Heating Individual syste Individual syste				
Heating Individual syste	ems - bedroom areas		Gas cooktop & electric ove	n
Heating Individual syste Individual syste Appliances	ems - bedroom areas			n

WINDOW SCHED	ULE TYPE B HOUSE 1'	1, 12			
ID	BW-01	BW-02	BW-03	BW-04	BW-05
Height	1,200	1,200	1,200	1,200	1,800
Width	600	1,500	1,800	1,800	2,400
3D Front View		<b>→</b>	Ŷ		
					7
BW-	06 BW-0	07 BW-0	08 BW-	-09 BW-10	_
1,8				200 600	-
	00 2,40			500 1,500	-
		.,		.,	-
WIN	IDOW SCHE	<u>DULE TYPE</u>	<u>B HOUSE</u>	<u>6,</u> 7, 8, 9	
<u></u>			<del></del>		
	<sup>NO. :</sup> 610-1 s shown <sup>No. II</sup>	I 2 - 3 3 1 <sup>N SET</sup> 8 of 17	<b>a r</b> 1 EAS	chit	ects
+	<b>16-10-19</b> SHEI	ET	Ph 02 4869 5 Andrew Coble Arct	D BOX 2072 BOWRAL 395 Fax 02 4869 5495 hitects Registration 6922 Alison Steph	cs.arch@bigpond.net.au nens Architects Registration 6678
DRAWN E		<b>P</b> 0 3	SCALE	0 1.0 2.0 3.0 C DRAWINGS HAVE BEEN I DEVELOPMENT APPLIC	



roposed:	ct Commitments Multi-dwelling houses			
ddress:	43 Old Saddleback Road, Kia	ma NSW 2533		
ot No / DP:	100/751279			
Vater (All dwo	ellings)			
ixtures			Specification	
hower head r	ating		3 star (> 4.5 but <= 6 L/min)	)
Toilet rating Kitchen taps ra	ating		4 star 3 star	
Bathroom taps			3 star	
Alternative wa	iter details k size for every single dwelling		3000L	
	Garden and lawn areas		Yes	
	All toilets		Yes	
	Laundry		Yes	
hermal Comf	ort			
xternal walls			Requirements	
Brick veneer		All houses excl. 19 & 20, onselected walls as per plans	Medium colour, R1.5Bulk +	Foil (reflective both sides)
		Houses 1, 7, 8, 10, 11, 12, 13,		
Weatherboard	I	17, 18, 19, 20 & 21,	Medium colour, R2.1Bulk +	Foil (reflective both sides)
		onselected walls as per plans		
nternal walls				
	ect fix plasterboard	All houses	No insulation	
Partition walls Brick, plasterb			No insulation	
nick, plasterb	Janu			
Ceiling				
External ceiling	g - Plasterboard	All houses	R4.0 bulk insulation	
Roof				
Corrugated iro	n	All houses	Light Colour (solar absorpta	nce <0.475)
con agatea no		Annouses	Anticon Blanket HP R1.8 (B	ulk + Foil, Reflective Side Down, Anti-glare up)
loors				
Concrete slab	on ground	All houses	No insulation	
	acroto clab	Units 7, 8, 9, 10, 11, 12, 18,	R1.0 bulk insulation	
Suspended cor				
Suspended cor		19, 20 & 21		
		19, 20 & 21		
Suspended cor Windows Aluminium frai		19, 20 & 21 All houses; awning windows		r with U-value 4.8 and SHGC 0.51 for Group A windows (awning,
Windows Aluminium fra	me ALM-003-01	All houses; awning windows and hinge doors	Double glazed, Air Fill, Clear bifold, casement and tilt 'n'	turn type windows/doors)
Windows Aluminium fra		All houses; awning windows	Double glazed, Air Fill, Clear bifold, casement and tilt 'n'	turn type windows/doors)
Windows Aluminium fra	me ALM-003-01	All houses; awning windows and hinge doors	Double glazed, Air Fill, Clear bifold, casement and tilt 'n'	turn type windows/doors)
Windows Aluminium fra	me ALM-003-01	All houses; awning windows and hinge doors	Double glazed, Air Fill, Clear bifold, casement and tilt 'n'	
<u>Windows</u> Aluminium fra Aluminium fra Downlights	me ALM-003-01 me ALM-004-01	All houses; awning windows and hinge doors	Double glazed, Air Fill, Clea bifold, casement and tilt 'n' Double glazed, Air Fill, Clea	turn type windows/doors)
Nindows Aluminium fra Aluminium fra Downlights Downlight Cov	me ALM-003-01 me ALM-004-01 rers	All houses; awning windows and hinge doors	Double glazed, Air Fill, Clea bifold, casement and tilt 'n' Double glazed, Air Fill, Clea Approved fireproof downlig	turn type windows/doors) r with U-value 4.8 and SHGC 0.59 for Group B windows (double hung
Windows Aluminium fra Aluminium fra	me ALM-003-01 me ALM-004-01 rers	All houses; awning windows and hinge doors	Double glazed, Air Fill, Clea bifold, casement and tilt 'n' Double glazed, Air Fill, Clea Approved fireproof downlig	turn type windows/doors) r with U-value 4.8 and SHGC 0.59 for Group B windows (double hung th covers must be installed to all downlights in ceilings where
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Vindows Numinium fran Numinium fran Numinium fran Downlights Downlight Covi ighting specifi Divershadowin dite Divershadowin divershadowin divershadowin dividual system ndividual system ndividual system dividual sys	me ALM-003-01 me ALM-004-01 errs ication g details nominal north elevation eproof downlight covers HAVE ensuites and internal laundry's) AL downlights are fitted or are r tocols. Contact the assessor ab <b>vellings)</b> em aust itch st itch itch itch itch itch itch itch itc	All houses; awning windows and hinge doors All houses; sliding been specified, which can be ful at the rate of 0.04 meters squar tot LED, this certification will be	Double glazed, Air Fill, Clea bifold, casement and tilt 'n' Double glazed, Air Fill, Clea Approved fireproof downlig All kitchen/living/hallways of Adjoining units calculated in As shown on plans ly covered by insulation. Ceili red per exhaust fan penetrati invalid unless insulation is ad <u>Specification</u> Gas instantaneous Individual fan, not ducted Manual switch on/off Individual fan, not ducted Manual switch on/off 1-phase airconditioning 1-phase airconditioning	turn type windows/doors) r with U-value 4.8 and SHGC 0.59 for Group B windows (double hun ght covers must be installed to all downlights in ceilings where on this project will install 100mm diameter LED downlights at a rate nto model calculations ng penetrations for exhaust dampers have been allowed (to all on. ded in compliance with NCC (BCA) Vol 2, 2014. Table 3.12.1.1 (b) ar Rating 6 star 5 star 5 star 5 star 5 star

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			coble stephens
	CSA JOB NO. : 6	10-12-331	architects
-	SCALES as shown	No. IN SET 9 of 17	1 EAST STREET  MOSS VALE NSW 2577 PO BOX 2072 BOWRAL NSW 2576 Ph 02 4869 5395 Fax 02 4869 5495 cs.arch@bigpond.net.au
,	DATE <b>16-10-19</b>	SHEET NUMBER	Andrew Coble Architects Registration 6922 Alison Stephens Architects Registration 6678
	DRAWN BY <b>A M S</b>	HP04	0 1.0 2.0 3.0 4.0 5.0 SCALE TO THESE DRAWINGS HAVE BEEN PREPARED FOR DEVELOPMENT APPLICATION
	Print date 5/11/2019		

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		E TYPE D HOUSE 18						
	ID Height Width	DW-01 1,800 900	DW-02 1,800 900	DW-03 900 900	DW-04 900 900	DW-05 900 900	DW-06 900 900	DW-07 1,800 3,000
	3D Front View							
Specification 3 star (> 4.5 but <= 6 L/min) 4 star 3 star 3 star 3 star								
3000L Yes Yes Yes	1		7-12 DW-1 000 90 800 90	00				
Requirements Medium colour, R1.5Bulk + Foil (reflective both sides) Medium colour, R2.1Bulk + Foil (reflective both sides)								
No insulation		<sup>■</sup>   DOW SCHED						
No insulation R4.0 bulk insulation		JOW SCILL						
Light Colour (solar absorptance <0.475) Anticon Blanket HP R1.8 (Bulk + Foil, Reflective Side Down, Anti-glare up)	DOOR SCHEDULE	DD-01	DD-02		DD-0		DD-04	DD-05
No insulation R1.0 bulk insulation	Height Width	2,040 920	2,040 920		2,40 3,60		2,400 3,600	2,300 5,200
Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group A windows (awning, bifold, casement and tilt 'n' turn type windows/doors) Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung,	3D Front View							
Approved fireproof downlight covers must be installed to all downlights in ceilings where All kitchen/living/hallways on this project will install 100mm diameter LED downlights at a rate of		R SCHEDUL	E TYPE D	HOUSE	16			
Adjoining units calculated into model calculations As shown on plans	I						ro	oof trusses to manufact
y covered by insulation. Ceiling penetrations for exhaust dampers have been allowed (to all ed per exhaust fan penetration. Invalid unless insulation is added in compliance with NCC (BCA) Vol 2, 2014. Table 3.12.1.1 (b) and		+						
Specification     Rating       Gas instantaneous     6 star			кітс	CHEN	ST	DINING	L	WIR
Individual fan, not ducted Manual switch on/off Individual fan, not ducted Manual switch on/off Individual fan, not ducted Manual switch on/off	FLOOR LEVEL							
1-phase airconditioning     5 star       1-phase airconditioning     5 star								
1-phase airconditioning5 star1-phase airconditioning5 star								
Gas cooktop & electric oven Yes Yes	TYPE D - S	ECTION DD	\ <i>\$```</i>			\$11100\$11100\$1110	~~/////////////////////////////////////	~~/////////////////////////////////////
therboard cladding								
Der screen								
	FLOOR LEVEL							
	TYPE D - N	ORTH EAST	ELEVATIC	DN				
orick s balustrade	CEILING HEIGHT	AD RVE			lorbond roof	5.0°		
	TYPE D - S	OUTH WEST	T ELEVATIO	ON				





der	-	Commitments			
ke ku f. K. 1907-1927.197 Hard Construction of the second	Proposed:	Multi-dwelling houses	NOW 2522		
share (Al develop)  the star range the star ranget the star range the star range the star range the star ranget	Address: Lot No / DP:		ama NSW 2533		
status         Application           dist range         8 dis ( > 5, ut < 6, l/m)           dist range         4 dip / 5, ut < 6, l/m)           stations targe status         4 dip / 5, ut < 6, l/m)           andrage targe status         4 dip / 5, ut < 6, l/m)           andrage targe status         4 dip / 5, ut < 6, l/m)           andrage targe status         4 dip / 5, ut < 6, l/m)           andrage targe status         4 dip / 5, ut < 6, l/m)           andrage targe status         4 dip / 5, ut < 6, l/m)           andrage targe status         4 dip / 5, ut < 6, l/m)           andrage targe status         4 dip / 5, ut < 6, l/m)           andrage targe status         4 dip / 5, ut < 6, l/m)           andrage targe status         4 dip / 5, ut < 6, l/m)           andrage targe status         4 dip / 5, ut < 6, l/m)           andrage targe status         4 dip / 5, ut < 6, l/m)           andrage targe status         4 dip / 5, ut < 1, ut					
Note head training     4 star (-5. Star (-6. K) (-0. K)       Bier rating     4 star       3 star     3 star       Information stars (-1. K)     4 stars (-1. K)       Information stars (-1. K)     <		lings)			
abilitation     4 star       abilitation     3 star       abilitation     4 star <t< td=""><td></td><td>ting</td><td></td><td></td><td></td></t<>		ting			
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Anote the function of the func		-			
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At looks week of the set of the s					
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sternal wolk     Requirements       ick wanner     All houses al. 7, 8, 10, 11, 13, 12, 20, 8, 21, 20		Laundry		Yes	
sternal wolk     Requirements       ick wanner     All houses al. 7, 8, 10, 11, 13, 12, 20, 8, 21, 20	Thermal Comfo	rt			
reak vetered or vetered below to be a proper be a proper be a proper be a proper below to be a proper	xternal walls			Requirements	
invalues and a project invalues 1, 21, 31, 31, 32, 34, 46, 47, 40, 47, 40, 47, 47, 47, 47, 47, 47, 47, 47, 47, 47	Brick veneer			Medium colour, R1.5Bulk +	Foil (reflective both sides)
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nick plateboard     No insulation       alling     All houses       ord     All houses       rangested iron     All houses       and construction     All houses       and provided in the state the RLB (Bulk + Foil, Refective Side Down, Anti-glare up)       down     All houses; avring windows       findows     Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group A windows (avring, and the houses; siding       durinium frame ALM-002-01     All houses; siding       durinium frame ALM-004-01     All houses; siding       ownlights     Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group A windows (double hung and the project will install 100mm diameter LDD downlights in ceilings where All ktohen/fixing/halways on this project will install 100mm diameter LDD downlights at a rate or All ktohen/fixing/halways on this project will install 100mm diameter LDD downlights at a rate or All houses; siding       histored fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust diampers have been allowed (to all battering)       histored and instal and hy 3 at the rate of 10.6 this certification will be invalid uniess insulation is added in compliance with NCC (BCA) Voi 2, 2014. Table 312.1.1 (b) and Naters operating earot		ct fix plasterboard	All houses	No insulation	
nick plateboard     No insulation       alling     All houses       ord     All houses       rangested iron     All houses       and construction     All houses       and provided in the state the RLB (Bulk + Foil, Refective Side Down, Anti-glare up)       down     All houses; avring windows       findows     Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group A windows (avring, and the houses; siding       durinium frame ALM-002-01     All houses; siding       durinium frame ALM-004-01     All houses; siding       ownlights     Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group A windows (double hung and the project will install 100mm diameter LDD downlights in ceilings where All ktohen/fixing/halways on this project will install 100mm diameter LDD downlights at a rate or All ktohen/fixing/halways on this project will install 100mm diameter LDD downlights at a rate or All houses; siding       histored fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust diampers have been allowed (to all battering)       histored and instal and hy 3 at the rate of 10.6 this certification will be invalid uniess insulation is added in compliance with NCC (BCA) Voi 2, 2014. Table 312.1.1 (b) and Naters operating earot					
elling       All houses       R4.0 bulk insulation         ord	Partition walls	ard		No insulation	
add     All houses     R4.0 bulk insulation       add     orrugated iron     All houses     Light Colour (solar absorptance -0.473) Anticon Blanket HP RLB (Bulk + Foil, Reflective Side Down, Anti-glare up)       toors     All houses     No insulation       screers sib on ground     All houses     No insulation       fundows     No insulation     No insulation       fundows     All houses; siming windows     Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group A windows (avening, uninfinity frame ALM-003-01       fundows     All houses; siming     Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group A windows (avening, uninfights       townlights     All houses; siming     Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group B windows (double hung       townlights     All houses; stiming     Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group B windows (double hung       townlights     All houses; stiming     Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group B windows (double hung       townlights     All houses; stiming     Approved freproof downlight covers must be installed to all downlights in cellings where       townlights     All houses are required.     Approved freproof downlight covers hung the project will install DOmm diameter LED downlights at a rete of D.41 meter State	fick, plaster boo	aru		NO INSUIACIÓN	
of orrugated iron All house biors correte slab on ground All houses biors correte slab on ground All houses biors correte slab on ground All houses biors correte slab on ground All houses biors biors correte slab and the state of the state	Ceiling				
orrugated iron       All houses       Light Colour (olar absorptance -0.475) Anticon Blanket HP R1.8 (Bulk + Foll, Reflective Side Down, Anti-glare up)         loors       oncrete slab on ground       All houses       No insulation         upgended concrete slab       Units 7, 8, 9, 10, 11, 12, 18, 18, 18, 14, 10, 10, 10, 10, 10, 10, 10, 10, 10, 10	xternal ceiling	- Plasterboard	All houses	R4.0 bulk insulation	
orrugated iron       All houses       Light Colour (olar absorptance -0.475) Anticon Blanket HP R1.8 (Bulk + Foil, Reflective Side Down, Anti-glare up)         loors       oncrete slab on ground       All houses       No insulation         upeneded concrete slab       Units 7, 8, 9, 10, 11, 21, 8, 13, 10, 20, 8, 21       RL 0 bulk insulation         Windows       Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group A windows (awning, and hinge doors       bloid, casement and tilt 'n' turn type windows/doors)         Junninium frame ALM-004-01       All houses; sliding       Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group B windows (double hung, and hinge doors         wornlights       Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group B windows (double hung, Duninium frame ALM-004-01         wornlights       Approved fireproof downlight covers must be installed to all downlights in ceilings where All kitchen/living/hallways on this project will install 100mm diameter LED downlights at a rate or the fireproof downlight covers must be installed to all downlights at a rate or the fireproof downlight covers fluct been specified, which can be fully covered by nearchino.         rite       As shown on plans         Approved fireproof downlight covers fluct been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed (to all bathroom, ensultation is added in complance with NCC (BCA) Vol 2, 2014. Table 3.12.1.1 (b) and NHEBS protocols. Contact the assessor above if alterations are required.         entellation	Roof				
Anticon Blanket HP R1.8 (Bulk + Foll, Reflective Side Down, Anti-glare up) loors orretes sibo on ground Units 7, 8, 9, 10, 11, 21, 8 Units 19, 20, 8, 21 Units 20, 8, 20 Units 20, 20 Units			All houses		
correct sibb on ground       All houses       No insulation         uppended concrete slab       Units 7, 8, 9, 10, 11, 12, 13, 8, 10, 11, 12, 13, 18, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 12, 11, 10, 11, 12,				Anticon Blanket HP R1.8 (Bu	Ik + Foil, Reflective Side Down, Anti-glare up)
correct sibb on ground       All houses       No insulation         uppended concrete slab       Units 7, 8, 9, 10, 11, 12, 13, 8, 10, 11, 12, 13, 18, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 10, 11, 12, 11, 12, 11, 10, 11, 12,	loors				
uspended Collicitie Statu       19, 20 & 21       RLU Buik Residential         Vindows       All houses; awning window: and hinge door All houses; serving window: and hinge door       Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group A windows (avuning, birlold, casement and tilt 'n' turn type windows/doors)         ownlights       Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung, double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung, double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung, double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung, double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung, double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung, double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung, double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung, double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung, double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung, double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung, double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung, double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung, double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double for double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double for double glazed, are fill, for the start for the start for the the for the for the the for the start for the start for the start		n ground	All houses	No insulation	
Mindows       All houses; awning windows and hings door.       Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group A windows (awning, bindod, casement and tilt 'n' turn type windows/door.)         Juminium frame ALM-004-01       All houses; silding       Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung, bindod, casement and tilt 'n' turn type windows/door.)         ownlights       Approved fireproof downlight covers must be installed to all downlights in ceilings where All ktrchen/living/hallways on this project will install 100mm diameter LED downlights at a rate of All ktrchen/living/hallways on this project will install 100mm diameter LED downlights at a rate of the status of normal anorth elevation         tet       Approved fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed (to all babtonoms, ensuites and internal laudry's) at the rate of 0.04 metrs squared per exhaust for penetration.         rtet       Ital Houselings         ot water       Specification         rdividual system       Gas instantaneous         entitient on status       Individual fan, not ducted         Control switch       Manual switch on/off         ondividual system - bedroom areas       1-phase airconditioning         Statu       Individual fan, not ducted         Control switch       Manual switch on/off         odividual systems - bedroom areas       1-phase airconditioning       S star	Suspended conc	rete slab		R1.0 bulk insulation	
All houses; awning window:       Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group A windows (awning.         Juminium frame ALM-004-01       All houses; silding         Juminium frame ALM-004-01       All houses; silding         ownlights       Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung.         ownlights       Approved fireproof downlight covers must be installed to all downlights in cellings where         ownlights       All ktochen/living/hallways on this project will install 100mm diameter LED downlights at a rate o         wershadowing details       Adjoining units calculated into model calculations         ite       Ite         tree       Ite         bithoms, ensuita and firter diameter of 0.4 meter squared per exhaut fing nenetrations for exhaust dampers have been allowed (to all bathorom, ensuitas and fitteral laudity's at the rate of 0.4 meter squared per exhaut fing nenetrations.         tree       Ite         tree       Ite contract file assessor above if alterations are required.         thADDIONAL downlights are fitted or are not LED, this certification will be invalid unless insulation is added in compliance with NCC (BCA) Vol 2, 2014. Table 3.12.1.1 (b) and NatHERS protocols. Contact the assessor above if alterations are required.         entitient of availed to are not LED, this certification will be invalid unless insulation is added in compliance with NCC (BCA) Vol 2, 2014. Table 3.12.1.1 (b) and NatHERS protocols. Contract the assessor above if alterations are			19, 20 & 21		
and hinge dons bifold, casement and tilt 'n' turn type windows/doors) Jurninium frame ALM-004-01 All houses; silding bouble glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung, burninght Covers ghting specification All ktchen/living/hallways on this project will install 100mm diameter LED downlights at a rate of All ktchen/living/hallways on this project will install 100mm diameter LED downlights at a rate of wershadowing details Adjoining units calculated into model calculations ite mirentation of nominal north elevation As shown on plans Approved fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed (to all bathrooms, ensuites and internal laundry(s) at the rate of 0.04 meters squared per exhaust fan penetration. If ADDITONAL downlights are fitted or are not LED, this certification will be invalid unless insulation. Ceiling penetrations for exhaust dampers have been allowed (to all bathrooms, ensuites and internal laundry(s) at the rate of 0.04 meters squared per exhaust fan penetration. If ADDITONAL downlights are fitted or are not LED, this certification will be invalid unless insulation. Ceiling penetrations for exhaust dampers have been allowed (to all bathrooms, ensuites and internal laundry(s) at the rate of 0.04 meters squared per exhaust fan penetration. If ADDITONAL downlights are fitted or are not LED, this certification will be invalid unless insulation is added in compliance with NCC (BCA) Vol 2, 2014. Table 3.12.1.1 (b) and NatHERS protocks. Contact the assessor above if alterations are required. entilation entilation entilation dividual system (bater) Control switch (bater) Control switc	Vindows				
Jurninium frame ALM-004-01       All houses; siiding       Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung, ownights         ownights       Approved freproof downlight covers must be installed to all downlights in ceilings where All ktchen/living/hallways on this project will install 00mm diameter LED downlights at a rate of All ktchen/living/hallways on this project will install 00mm diameter LED downlights at a rate of the set of 0.04 meters squared per exhaust fan penetrations for exhaust dampers have been allowed (to all bathrooms, ensuites and internal laundry) at the rate of 0.04 meters squared per exhaust fan penetrations.         Approved fireproof downlight covers MAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed (to all bathrooms, ensuites and internal laundry) at the rate of 0.04 meters squared per exhaust fan penetrations.         Approved fireproof downlight covers MAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed (to all bathrooms, ensuites and internal laundry) at the rate of 0.04 meters squared per exhaust fan penetration.         Approved fireproof downlight covers MAVE been specified, which can be fully covered by insulation. Set of contact the assessor above if alterations are required.         netgy (JI Duelling)       Extended of a ren to LED, this certification will be invalid unless insulation is added in compliance with NCC (BCA) Vol 2, 2014. Table 3.12.1.1 (b) and NatHERS protocols. Contact the assessor above if alterations are required.         entilation       Extended of the set of 0.04 must switch on/off         athroom sehaust <td< td=""><td>Aluminium fram</td><td>e ALM-003-01</td><td></td><td></td><td></td></td<>	Aluminium fram	e ALM-003-01			
ownlights           ownlight Covers ghting specification         Approved fireproof downlight covers must be installed to all downlights in ceilings where All kitchen/living/hallways on this project will install 100mm diameter LED downlights at a rate of All kitchen/living/hallways on this project will install 100mm diameter LED downlights at a rate of All kitchen/living/hallways on this project will install 100mm diameter LED downlights at a rate of All kitchen/living/hallways on this project will install 100mm diameter LED downlights at a rate of All kitchen/living/hallways on this project will install 100mm diameter LED downlights at a rate of and the second second and the second s	Aluminium fram	e ALM-004-01			
ite  irrentation of nominal north elevation As shown on plans  Approved frieproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed (to all bathrooms, ensuites and internal laundry's) at the rate of 0.04 meters squared per exhaust fan penetration. If ADDITIONAL downlights are fitted or are not LED, this certification will be invalid unless insulation is added in compliance with NCC (BCA) Vol 2, 2014. Table 3.12.1.1 (b) and NatHERS protocols. Contact the assessor above if alterations are required. <b>rergy (All Dwellings)</b> Id vater Specification Rating dividual system Gas instantaneous Star Henting Individual system Individual fan, not ducted Control switch Manual switch on/off Londrol Switch Manual switch on/off Londrol Switch Control switch Individual fan, not ducted Control switch Individual systems - living areas I-phase airconditioning Star I-phase airconditioning St					
ite  irrentation of nominal north elevation As shown on plans  Approved frieproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed (to all bathrooms, ensuites and internal laundry's) at the rate of 0.04 meters squared per exhaust fan penetration. If ADDITIONAL downlights are fitted or are not LED, this certification will be invalid unless insulation is added in compliance with NCC (BCA) Vol 2, 2014. Table 3.12.1.1 (b) and NatHERS protocols. Contact the assessor above if alterations are required. <b>rergy (All Dwellings)</b> Id vater Specification Rating dividual system Gas instantaneous Star Henting Individual system Individual fan, not ducted Control switch Manual switch on/off Londrol Switch Manual switch on/off Londrol Switch Control switch Individual fan, not ducted Control switch Individual systems - living areas I-phase airconditioning Star I-phase airconditioning St					
virientation of nominal north elevation       As shown on plans         Approved fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Celling penetrations for exhaust dampers have been allowed (to all bathrooms, ensuites and internal laundry's) at the rate of 0.04 meters squared per exhaust fan penetration.         If ADDITIONAL downlights are fitted or are not LED, this certification will be invalid unless insulation is added in compliance with NCC (BCA) Vol 2, 2014. Table 3.12.1.1 (b) and NatHERS protocols. Contact the assessor above if alterations are required.         nergy (All Dwellings)       Entry (All Dwellings)         ot water       Specification         ndividual system       Gas instantaneous         6 star         entilation         athroom exhaust       Individual fan, not ducted         Control switch       Manual switch on/off         individual systems       Individual fan, not ducted         Control switch       Manual switch on/off         onling       -         oling       -         rdividual systems - living areas       1-phase airconditioning       5 star         rdividual systems - bedroom areas       1-phase airconditioning       5 star         rdividual systems - bedroom areas       1-phase airconditioning       5 star         rdividual systems - bedroom areas       1-phase airconditioning       5 star	Overshadowing	details		Adjoining units calculated in	nto model calculations
virientation of nominal north elevation       As shown on plans         Approved fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Celling penetrations for exhaust dampers have been allowed (to all bathrooms, ensuites and internal laundry's) at the rate of 0.04 meters squared per exhaust fan penetration.         If ADDITIONAL downlights are fitted or are not LED, this certification will be invalid unless insulation is added in compliance with NCC (BCA) Vol 2, 2014. Table 3.12.1.1 (b) and NatHERS protocols. Contact the assessor above if alterations are required.         nergy (All Dwellings)       Entry (All Dwellings)         ot water       Specification         ndividual system       Gas instantaneous         6 star         entilation         athroom exhaust       Individual fan, not ducted         Control switch       Manual switch on/off         individual systems       Individual fan, not ducted         Control switch       Manual switch on/off         onling       -         oling       -         rdividual systems - living areas       1-phase airconditioning       5 star         rdividual systems - bedroom areas       1-phase airconditioning       5 star         rdividual systems - bedroom areas       1-phase airconditioning       5 star         rdividual systems - bedroom areas       1-phase airconditioning       5 star					
Approved fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed (to all bathrooms, ensuites and internal laundny's) at the rate of 0.04 meters squared per exhaust fan penetration. If ADDITIONAL downlights are fitted or are not LED, this certification will be invalid unless insulation is added in compliance with NCC (BCA) Vol 2, 2014. Table 3.12.1.1 (b) and NatHERS protocols. Contact the assessor above if alterations are required.  entry (All Dwellings)  fot water  Specification  entry (All Dwellings)  fot water  Gas instantaneous  for a string  entry (All Dwellings)  fot water  Control switch  Manual switch on/off  Control switch  Manual switch on/off  control switch  Manual switch on/off  individual systems - living areas  1-phase airconditioning  star  fot water  star	lite Drientation of n	ominal north elevation		As shown on plans	
bathrooms, ensuites and internal laundry's) at the rate of 0.04 meters squared per exhaust fan penetration. If ADDITIONAL downlights are fitted or are not LED, this certification will be invalid unless insulation is added in compliance with NCC (BCA) Vol 2, 2014. Table 3.12.1.1 (b) and NatHERS protocols. Contact the assessor above if alterations are required. <b>arerg (All Dwellings)</b> tot water <u>Specification Rating</u> dividual system <u>Gas</u> instantaneous <u>Gas</u>					
Individual system     Specification     Rating       entilation     Gas instantaneous     6 star       entilation     Individual fan, not ducted     Control switch       Control switch     Manual switch on/off       itchen exhaust     Individual fan, not ducted       Control switch     Manual switch on/off       aundry     Individual fan, not ducted       Control switch     Manual switch on/off       aundry     Individual fan, not ducted       Control switch     Manual switch on/off       ooling     Individual fan, not ducted       ooling     Individual fan, not ducted       ooling     Individual fan, not ducted       idividual systems - living areas     1-phase airconditioning     5 star       ndividual systems - bedroom areas     1-phase airconditioning     5 star       idividual systems - living areas     1-phase airconditioning     5 star       idividual systems - living areas     1-phase airconditioning     5 star       odividual systems - bedroom areas     1-phase airconditioning     5 star       idividual systems - bedroom areas     1-phase airconditioning     5 star	bathrooms, en If ADDITIONAL	suites and internal laundry's downlights are fitted or are	at the rate of 0.04 meters squa not LED, this certification will be	red per exhaust fan penetratio	on.
Individual system     Specification     Rating       entilation     Gas instantaneous     6 star       entilation     Individual fan, not ducted     Control switch       Control switch     Manual switch on/off       itchen exhaust     Individual fan, not ducted       Control switch     Manual switch on/off       aundry     Individual fan, not ducted       Control switch     Manual switch on/off       aundry     Individual fan, not ducted       Control switch     Manual switch on/off       ooling     Individual fan, not ducted       ooling     Individual fan, not ducted       ooling     Individual fan, not ducted       idividual systems - living areas     1-phase airconditioning     5 star       ndividual systems - bedroom areas     1-phase airconditioning     5 star       idividual systems - living areas     1-phase airconditioning     5 star       idividual systems - living areas     1-phase airconditioning     5 star       odividual systems - bedroom areas     1-phase airconditioning     5 star       idividual systems - bedroom areas     1-phase airconditioning     5 star	nergy (All Dwe	llings)			
Ventilation       Individual fan, not ducted         Control switch       Manual switch on/off         Ichen exhaust       Individual fan, not ducted         Control switch       Manual switch on/off         aundry       Individual fan, not ducted         Control switch       Manual switch on/off         aundry       Individual fan, not ducted         Control switch       Manual switch on/off         ooling	lot water				
athroom exhaust Individual fan, not ducted Control switch Manual switch on/off itchen exhaust Individual fan, not ducted Control switch Manual switch on/off aundry Individual fan, not ducted Control switch Manual switch on/off ooling oling dividual systems - living areas 1-phase airconditioning 5 star ridividual systems - bedroom areas 1-phase airconditioning 5 star leating dividual systems - living areas 1-phase airconditioning 5 star ridividual systems - bedroom areas 1-phase airconditioning 5 star dividual systems - living areas 1-phase airconditioning 5 star dividual systems - bedroom areas 1-phase airconditioning 5 star ridividual systems - bedroom areas 1-phase airconditioning 5 star dividual systems - bedroom areas 1-phase airconditioning 5 star	ndividual syster	m		Gas instantaneous	6 star
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Control switch     Manual switch on/off       aundry     Individual fan, not ducted       Control switch     Manual switch on/off       ooling					
aundry Individual fan, net ducted Manual switch on/off Control switch Manual switch on/off coling dividual systems - living areas 1-phase airconditioning 5 star releating releating 1-phase airconditioning 5 star releating 5 star					
ooling         rdividual systems - living areas       1-phase airconditioning       5 star         ndividual systems - bedroom areas       1-phase airconditioning       5 star         leating       5 star       5 star         ndividual systems - living areas       1-phase airconditioning       5 star         ndividual systems - living areas       1-phase airconditioning       5 star         ndividual systems - bedroom areas       1-phase airconditioning       5 star         oppliances       5 star       5 star         ooktop/oven       Gas cooktop & electric oven       5 star         rentilated fridge space       Yes       Yes	aundry			Individual fan, not ducted	
ndividual systems - living areas     1-phase airconditioning     5 star       ndividual systems - bedroom areas     1-phase airconditioning     5 star	Control swite	ch		Manual switch on/off	
ndividual systems - living areas     1-phase airconditioning     5 star       ndividual systems - bedroom areas     1-phase airconditioning     5 star	Cooling				
leating rdividual systems - living areas 1-phase airconditioning 5 star rdividual systems - bedroom areas 1-phase airconditioning 5 star ppliances ooktop/oven Gas cooktop & electric oven 'entilated fridge space Yes	ndividual syster	-			
ndividual systems - living areas     1-phase airconditioning     5 star       ndividual systems - bedroom areas     1-phase airconditioning     5 star       uppliances     5 star     5 star       ooktop/oven     Gas cooktop & electric oven       rentilated fridge space     Yes	ndividual syster	ms - bedroom areas		1-phase airconditioning	5 star
ndividual systems - bedroom areas 1-phase airconditioning 5 star ppliances ooktop/oven Gas cooktop & electric oven fentilated fridge space Yes	leating				
ppliances ooktop/oven Gas cooktop & electric oven entilated fridge space Yes	ndividual syster				
ooktop/oven         Gas cooktop & electric oven           'entilated fridge space         Yes	ndividual syster	ms - bedroom areas		1-phase airconditioning	5 star
ooktop/oven         Gas cooktop & electric oven           'entilated fridge space         Yes	Appliances				
	ooktop/oven				1
	-				
		source or ying me			



•						
	AM	ENDMENTS			PROJECT :	
e required around doorways	REV	AMENDMENT	DATE	BY	PROPOSED SENIORS	PROPERTIES
e required for showers					LIVING ESTATE	DRAWING :
e required around toilets e required around handbasins					at LOT 17 DP 1210621 (Formerly Part Lot 100 DP 751279), 43 Old Saddleback Road KIAMA NSW	TYPE J - HOUSE 18 - PLANS, ELEVATIONS, SECTION
300mm ON ORIGINAL						

SCHED	ULE TYPE J HOU JW-0 <sup>7</sup> 600	1 .	<b>20</b> JW-02 1,000	JW-03 1,000	JW-04 1,800		JW-05 1,000	JW-06 1,800
View	1,500		1,500	1,500	2,100		2,100	2,400
JW-07 1,800 900	JW-08 1,800 900	כ ב	JW-09 1,800 2,400	JW-10 1,800 900		V-11 600 100	JW-12 600 1,400	JW-13 1,800 900
JW- 6 2,1	00	JW-15 600 2,100						
WIN	IDOW SC	HEDUI	LE TYPE	E J HOUS	SE 18			
CHEDULI	E TYPE J HOUSE	8, 9, 10, 20	JD-02		JD-03	3		JD-04
		040 920	2,040 920		2,100 3,600			2,350 5,200
View								
DOC		BASIX Project Co		HOUSE	18			
	L <u>F</u>	ot No / DP: 100 <b>Vater (All dwellings</b> Fixtures	Old Saddleback Road, K )/751279 ;)	iama NSW 2533	Specification 3 star (> 4.5 bu	t <= 61/min)		
	T K E	hower head rating foilet rating Kitchen taps rating Bathroom taps rating Alternative water de			4 star 3 star 3 star 3 star	( < - 0 L/IIIII)		
	F	tainwater tank size f Connected to: Gai All Lau	for every single dwelling rden and lawn areas toilets indry	3	3000L Yes Yes Yes			
	<u>-</u> E	Thermal Comfort External walls Brick veneer Veatherboard		All houses excl. onselected walls as p Houses 1, 7, 8, 10, 11 17, 18, 19, 2 onselected walls as p	er plans , 12 ,13, 20 & 21, Medium colour	; R1.5Bulk + Foil (refl ; R2.1Bulk + Foil (refl		
	<u> </u>	nternal walls Cavity wall, direct fix Partition walls Brick, plasterboard	plasterboard	AI	l houses No insulation No insulation			
	E	Ceiling External ceiling - Pla Roof	sterboard	AI	l houses R4.0 bulk insula	ation		
	<u>_</u>	Corrugated iron Hoors Concrete slab on gro	und		Inouses	olar absorptance <0.4 t HP R1.8 (Bulk + Foil,	75) Reflective Side Down, A	Anti-glare up)
	S	iuspended concrete		Units 7, 8, 9, 10, 11 19,	, 12, 18, R1.0 bulk insula 20 & 21			to Come Antipolary Investor
		Aluminium frame AL Aluminium frame AL		All houses; awning v and hing All houses	ge doors bifold, casemer	nt and tilt 'n' turn type	e windows/doors)	for Group A windows (awning, ) for Group B windows (double hung,
		Downlights Downlight Covers ighting specificatior	١			-		l downlights in ceilings where diameter LED downlights at a rate of
	<u>s</u>	Overshadowing deta				calculated into mode	l calculations	
		bathrooms, ensuite If ADDITIONAL dow	f downlight covers HAV es and internal laundry': vnlights are fitted or are	s) at the rate of 0.04 met	ers squared per exhaust faits on will be invalid unless inst	ulation. Ceiling penet an penetration.		pers have been allowed (to all A) Vol 2, 2014. Table 3.12.1.1 (b) and
	ŀ	<b>nergy (All Dwelling</b> lot water ndividual system			Specification Gas instantane	Rating ous 6 star		
	ĸ	Yentilation Bathroom exhaust Control switch Kitchen exhaust Control switch aundry Control switch			Individual fan, ı Manual switch Individual fan, ı Manual switch Individual fan, ı Manual switch	on/off not ducted on/off not ducted		
	Ī	Cooling ndividual systems - ndividual systems -			1-phase aircon 1-phase aircon			
	li li	leating ndividual systems - ndividual systems - Appliances			1-phase aircon 1-phase aircon	ditioning 5 star		
	( \	Cooktop/oven /entilated fridge spa Private outdoor clotl			Gas cooktop & Yes Yes	electric oven		
	CSA JOB N	0. : <b>6</b>	10-12-:	3 3 1		ble	ste	phens ects
-   -   -		6-10-19	No. IN SET SHEET NUMBER	12 01 1	7 Ph 02 4 Andrew Col	PO BOX 20 869 5395 ■ Fa ble Architects Regist	ration 6922 Alison Ste	E NSW 2577 NSW 2576 cs.arch@bigpond.net.au phens Architects Registration 6678
F	DRAWN BY	AMS	HP	07			IGS HAVE BEEN OPMENT APPL	I PREPARED FOR



A)A/ 00	A)A/ 10	A\A/ 11	A)A/ 10	A)A/ 12	A)A/ 1/
AW-09 1,000		AW-11 600	AW-12 1,200	AW-13 600	AW-14 600
1,800		1,800	900	2,700	900

Proposed:	t Commitments Multi-dwelling houses			
Proposea: Address:	Multi-dwelling houses 43 Old Saddleback Road, Kia	ma NSW 2533		
Lot No / DP:	100/751279			
Nater (All dwel	llings)			
Fixtures			Specification	<b>,</b>
Shower head ra	ting		3 star (> 4.5 but <= 6 L/min	
Toilet rating	·		4 star	
Kitchen taps rat			3 star 3 star	
Bathroom taps i	rating		5 Stdf	
Alternative wate	er details			
	size for every single dwelling		3000L	
	Garden and lawn areas		Yes	
	All toilets		Yes	
	Laundry		Yes	
Thermal Comfo	rt			
External walls		All houses avail 10.9.20	Requirements	
Brick veneer		All houses excl. 19 & 20, onselected walls as per plans	Medium colour, R1.5Bulk +	Foil (reflective both sides)
		Houses 1, 7, 8, 10, 11, 12, 13,		
Weatherboard		17, 18, 19, 20 & 21,	Medium colour, R2.1Bulk +	- Foil (reflective both sides)
		onselected walls as per plans	,,	(
Internal walls				
	ct fix plasterboard	All houses	No insulation	
Partition walls				
Brick, plasterbo	ard		No insulation	
Cailing				
Ceiling External ceiling	- Plasterboard	All houses	R4.0 bulk insulation	
LACETHAI CEIIING	riasterbodiu	All houses	N-1.0 DUIN IIISUIdUOII	
Roof				
			Light Colour (solar absorpt	ance <0.475)
Corrugated iron		All houses		ulk + Foil, Reflective Side Down, Anti-glare up)
Floors				
Concrete slab or	n ground	All houses	No insulation	
Suspended cond	crete slab	Units 7, 8, 9, 10, 11, 12, 18,	R1.0 bulk insulation	
		19, 20 & 21		
Windows				
		All houses; awning windows	Double glazed Air Fill Clea	r with U-value 4.8 and SHGC 0.51 for Group A windows (awning,
Aluminium fram	ne ALM-003-01	and hinge doors		' turn type windows/doors)
Aluminium fram	ne ALM-004-01	All houses; sliding	,	r with U-value 4.8 and SHGC 0.59 for Group B windows (double hung
Downlights				
	40		Annuousd finance of downli	abt course much he installed to all downlights in collings where
Downlight Cove Lighting specific				ght covers must be installed to all downlights in ceilings where on this project will install 100mm diameter LED downlights at a rate of
Lighting specific	ation		All kitchen/living/nallways	on this project will install 100mm diameter LED downlights at a rate of
Overshadowing	details		Adjoining units calculated i	nto model calculations
Site				
Orientation of n	ominal north elevation		As shown on plans	
				ing penetrations for exhaust dampers have been allowed (to all
		at the rate of 0.04 meters squar		ion. Ided in compliance with NCC (BCA) Vol 2, 2014. Table 3.12.1.1 (b) and
	0	ove if alterations are required.	mvaliu unless insulation is a	adea in compliance with NCC (DCA) VOL2, 2014. TADIE 3.12.1.1 (D) an
Energy (All Dwe	ellings)			
Hot water			Specification	Rating
ndividual system	m		Gas instantaneous	6 star
Bathroom exhau			Individual fan, not ducted	
Ventilation Bathroom exhau Control swit	ch		Manual switch on/off	
Bathroom exhau Control swit Kitchen exhaust	ch		Manual switch on/off Individual fan, not ducted	
Bathroom exhau Control swit Kitchen exhaust Control swit	ch		Manual switch on/off Individual fan, not ducted Manual switch on/off	
Bathroom exhau Control swit Kitchen exhaust Control swit Laundry	ch : ch		Manual switch on/off Individual fan, not ducted Manual switch on/off Individual fan, not ducted	
Bathroom exhau Control swit Kitchen exhaust Control swit	ch : ch		Manual switch on/off Individual fan, not ducted Manual switch on/off	
Bathroom exhau Control swit Kitchen exhaust Control swit Laundry Control swit	ch : ch		Manual switch on/off Individual fan, not ducted Manual switch on/off Individual fan, not ducted	
Bathroom exhau Control swit Kitchen exhaust Control swit Laundry Control swit Cooling	ch : ch		Manual switch on/off Individual fan, not ducted Manual switch on/off Individual fan, not ducted	5 star
Bathroom exhau Control swit Kitchen exhaust Control swit Laundry Control swit Cooling Individual syster	ch : ch		Manual switch on/off Individual fan, not ducted Manual switch on/off Individual fan, not ducted Manual switch on/off	5 star 5 star
Bathroom exhau Control swit Kitchen exhaust Control swit Laundry Control swit Cooling Individual syster	ch : ch ms - living areas		Manual switch on/off Individual fan, not ducted Manual switch on/off Individual fan, not ducted Manual switch on/off 1-phase airconditioning	
Bathroom exhau Control swit Kitchen exhaust Control swit Laundry Control swit Cooling Individual syster Individual syster Heating	ch : ch ms - living areas ms - bedroom areas		Manual switch on/off Individual fan, not ducted Manual switch on/off Individual fan, not ducted Manual switch on/off 1-phase airconditioning 1-phase airconditioning	5 star
Bathroom exhau Control swit Kitchen exhaust Control swit Laundry Control swit Cooling Individual system Individual system Heating Individual system	ch : ch ms - living areas ms - bedroom areas ms - living areas		Manual switch on/off Individual fan, not ducted Manual switch on/off Individual fan, not ducted Manual switch on/off 1-phase airconditioning 1-phase airconditioning	5 star 5 star
Bathroom exhau Control swit Kitchen exhaust Control swit Laundry Control swit Cooling Individual system Individual system Heating Individual system	ch : ch ms - living areas ms - bedroom areas		Manual switch on/off Individual fan, not ducted Manual switch on/off Individual fan, not ducted Manual switch on/off 1-phase airconditioning 1-phase airconditioning	5 star
Bathroom exhau Control swit Control swit Control swit aundry Control swit Cooling ndividual system ndividual system ndividual system	ch : ch ms - living areas ms - bedroom areas ms - living areas		Manual switch on/off Individual fan, not ducted Manual switch on/off Individual fan, not ducted Manual switch on/off 1-phase airconditioning 1-phase airconditioning	5 star 5 star
Bathroom exhau Control swit Kitchen exhaust Control swit aundry Control swit Cooling ndividual syster ndividual syster ndividual syster ndividual syster ndividual syster	ch : ch ms - living areas ms - bedroom areas ms - living areas		Manual switch on/off Individual fan, not ducted Manual switch on/off Individual fan, not ducted Manual switch on/off 1-phase airconditioning 1-phase airconditioning 1-phase airconditioning	5 star 5 star 5 star
Bathroom exhau Control swit Kitchen exhaust Control swit Laundry Control swit Cooling Individual syster Individual syster Individual syster Individual syster Individual syster Cooktop/oven	ch ; ch ms - living areas ms - bedroom areas ms - living areas ms - bedroom areas		Manual switch on/off Individual fan, not ducted Manual switch on/off Individual fan, not ducted Manual switch on/off 1-phase airconditioning 1-phase airconditioning 1-phase airconditioning 1-phase airconditioning	5 star 5 star 5 star
Bathroom exhau Control swit Kitchen exhaust Control swit Laundry Control swit Cooling Individual syster Individual syster Individual syster Individual syster Cooktop/oven Ventilated fridge	ch ; ch ms - living areas ms - bedroom areas ms - living areas ms - bedroom areas		Manual switch on/off Individual fan, not ducted Manual switch on/off Individual fan, not ducted Manual switch on/off 1-phase airconditioning 1-phase airconditioning 1-phase airconditioning	5 star 5 star 5 star

			coble stephens
CSA JOB NO. : 610-12-331		1 0 - 1 2 - 3 3 1	architects
	SCALES as shown	No. IN SET 13 of 17	1 EAST STREET ■ MOSS VALE ■ NSW 2577 PO BOX 2072 ■ BOWRAL ■ NSW 2576 Db 00 4000 5205 = Eru 00 4000 5105 = Street @birecodent.org
	DATE <b>16-10-19</b>	SHEET NUMBER	Ph 02 4869 5395 Fax 02 4869 5495 cs.arch@bigpond.net.au Andrew Coble Architects Registration 6922 Alison Stephens Architects Registration 6678
	DRAWN BY <b>A M S</b>	HP08	0 1.0 2.0 3.0 4.0 5.0 SCALE THESE DRAWINGS HAVE BEEN PREPARED FOR DEVELOPMENT APPLICATION