

PROPOSED SENIORS LIVING ESTATE

LOT 17 DP 1210621 (Formerly Part Lot 100 DP 751279), 43
Old Saddleback Road, KIAMA NSW

for WERITON PROPERTIES

SITE LAYOUT - DETAIL

11-11-19 SCC-02

coble stephens
architects

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Ph 02 4869 5395 ■ Fax 02 4869 5495 ■ cs.arch@bigpond.net.au
Andrew Coble Architects Registration 6922 Alison Stephens Architects Registration 6678

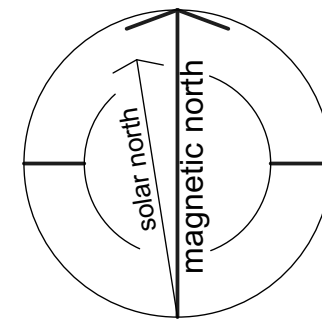
OLD SADDLEBACK ROAD

SITE PLAN - DETAIL
1:400

PROPOSED SENIORS LIVING ESTATE

LOT 17 DP 1210621 (Formerly Part Lot 100 DP 751279), 43
Old Saddleback Road, KIAMA NSW

for WERITON PROPERTIES



LEGEND

- accessible pathway in accordance with SEPP SL gradients
- direction of rise of pavement
- gradient of ramp/ path/ road

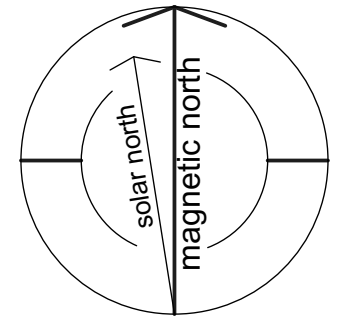
SITE PLAN - DETAIL HOUSES 1, 2, 3, 8, 9, 10, 11, 12 & 13

11-11-19 SCC-03

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OLD



SITE PLAN - DETAIL
1:400

PROPOSED SENIORS LIVING ESTATE

LOT 17 DP 1210621 (Formerly Part Lot 100 DP 751279), 43
Old Saddleback Road, KIAMA NSW

for WERITON PROPERTIES

SITE PLAN - DETAIL HOUSES 4, 5, 6, 7, 14, 15 & 16

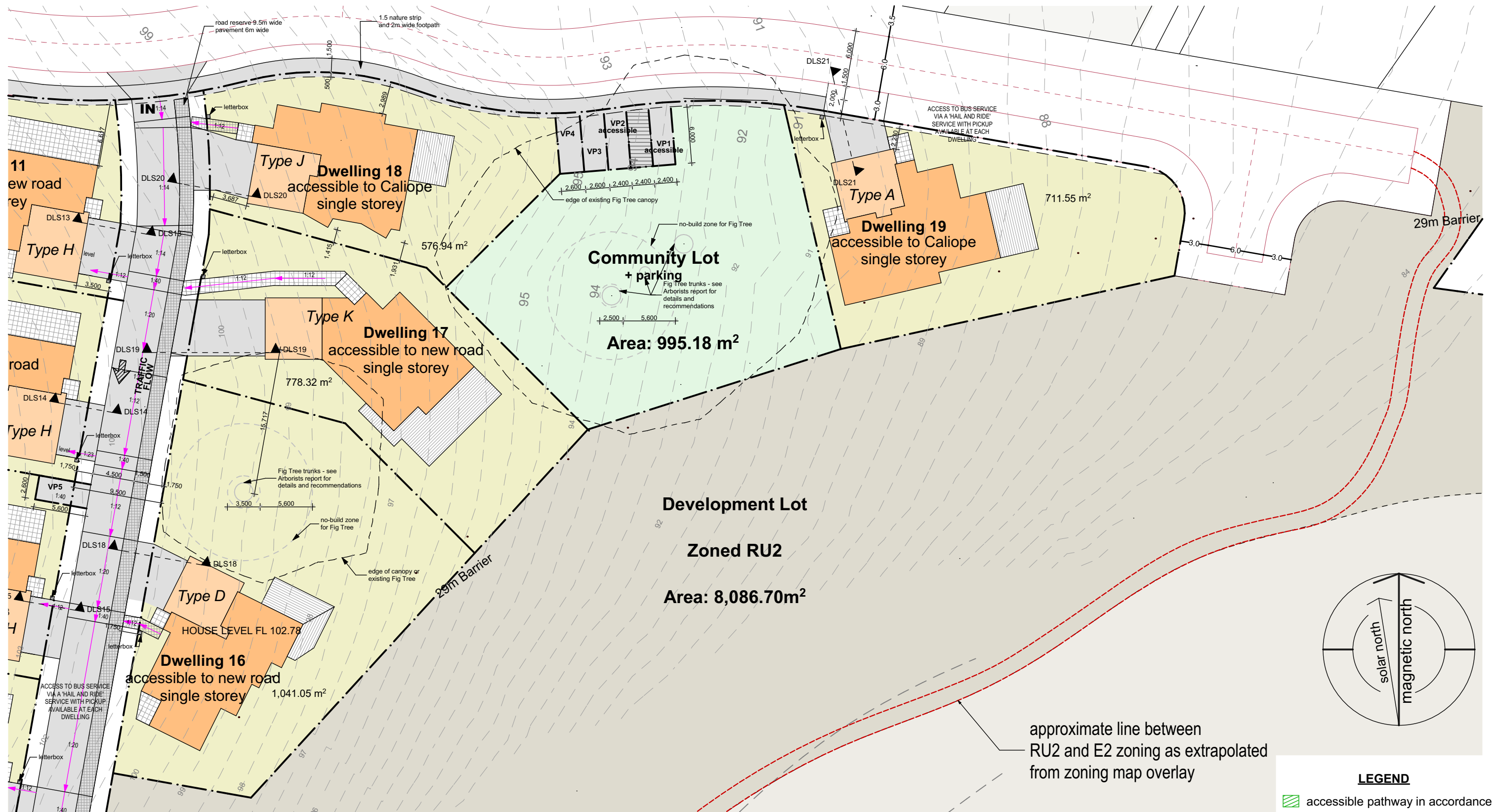
11-11-19 SCC-04

LEGEND

- accessible pathway in accordance with SEPP SL gradients
- direction of rise of pavement
- gradient of ramp/ path/ road

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SITE PLAN - DETAIL
1:400

PROPOSED SENIORS LIVING ESTATE

LOT 17 DP 1210621 (Formerly Part Lot 100 DP 751279), 43
Old Saddleback Road, KIAMA NSW

for WERITON PROPERTIES

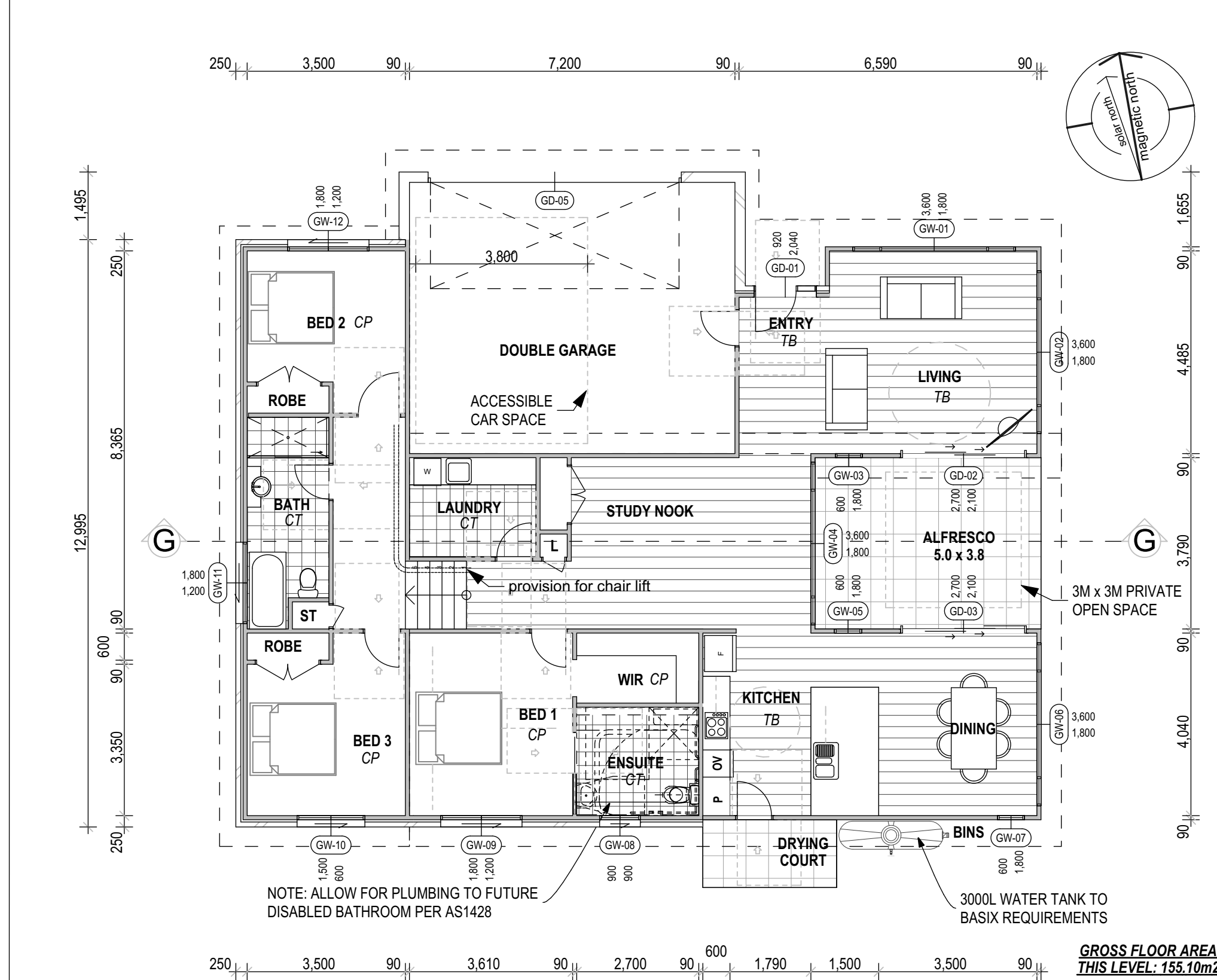
SITE PLAN - DETAIL HOUSES 16, 17, 18 & 19

11-11-19 SCC-05

coble stephens

a r c h i t e c t s

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TYPE G - HOUSE 1 & 10 - FLOOR PLAN
1:100

BUSHFIRE NOTE: All houses to reach
BAL 29 bushfire construction level - see notes
for compliance and construction measures required

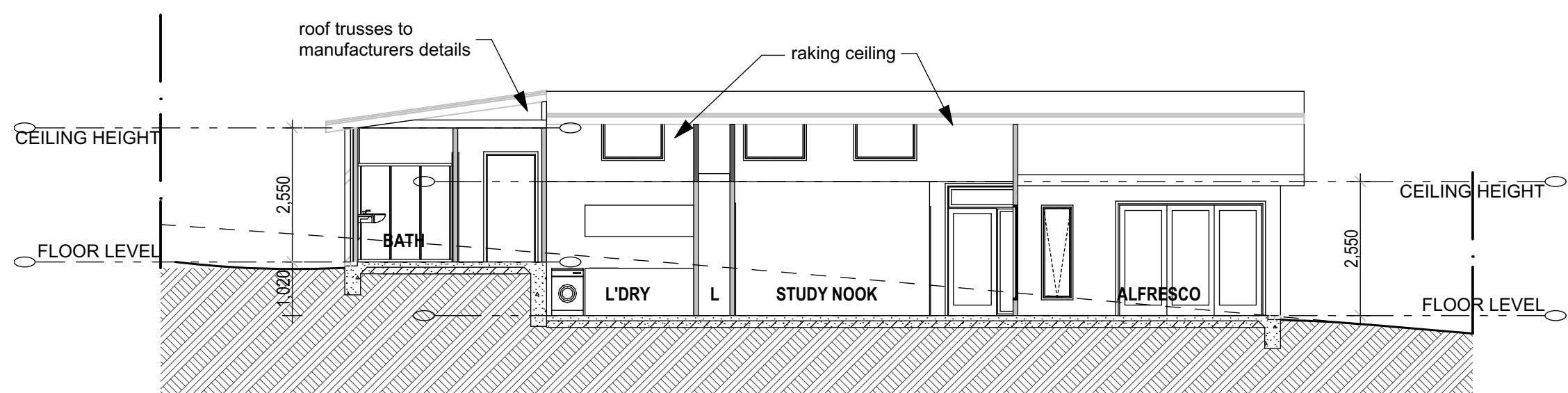
DOOR SCHEDULE TYPE G HOUSE 1					
ID	GD-01	GD-02	GD-03	GD-04	GD-05
Height	2,040	2,100	2,100	2,040	2,350
Width	920	2,700	2,700	820	5,600
3D Front View					

DOOR SCHEDULE TYPE G HOUSE 1 & 10

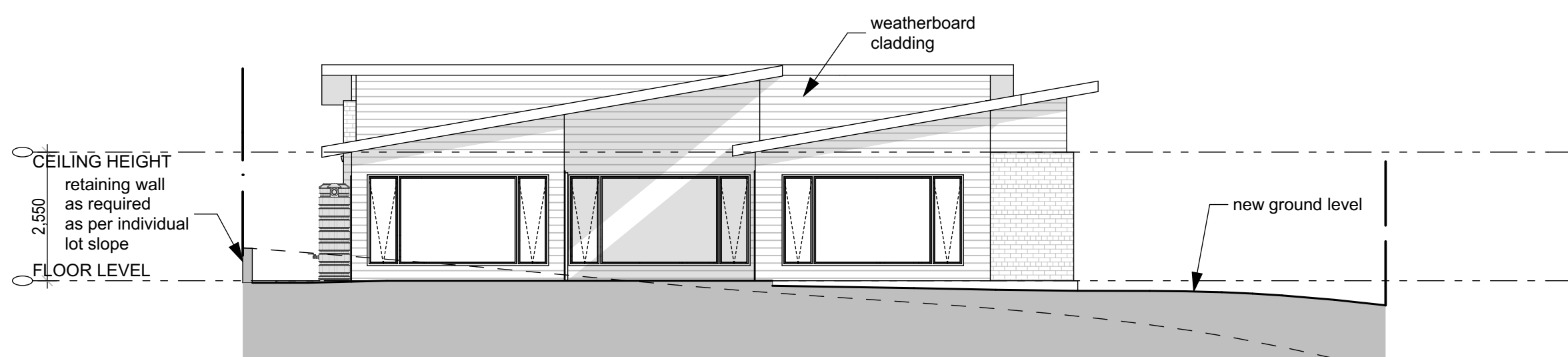
WINDOW SCHEDULE TYPE G HOUSE 1										
ID	GW-01	GW-02	GW-03	GW-04	GW-05	GW-06	GW-07	GW-08	GW-09	GW-10
Height	1,800	1,800	1,800	1,800	1,800	1,800	1,800	900	1,200	600
Width	3,600	3,600	600	3,600	600	3,600	600	900	1,800	1,500
3D Front View										

GW-11	GW-12	GW-13	GW-14	GW-15
1,200	1,200	900	900	900
1,800	1,800	1,200	1,200	1,200

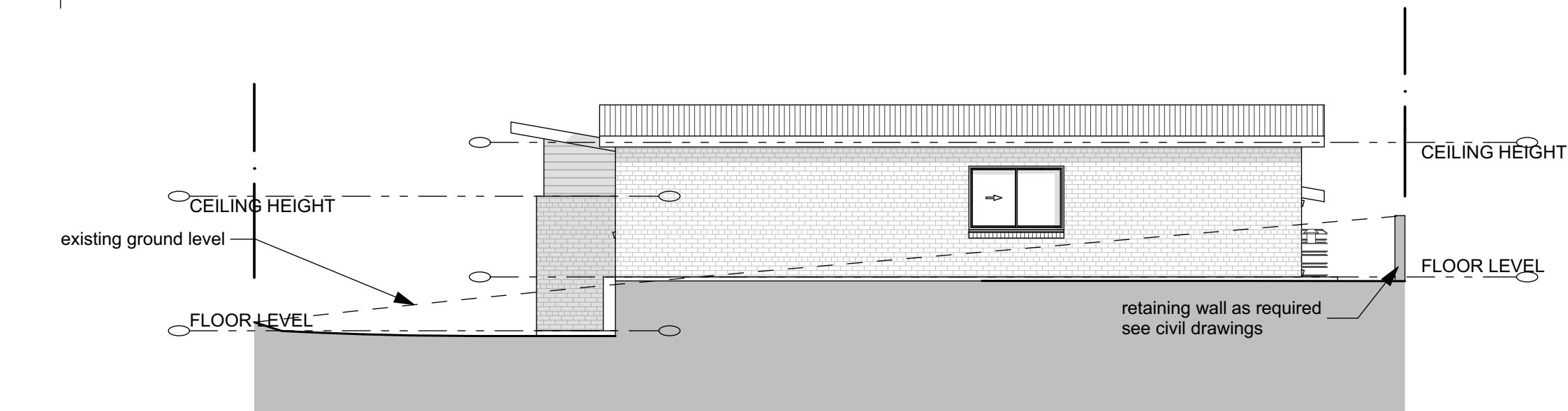
WINDOW SCHEDULE TYPE G HOUSE 1 & 10



TYPE G HOUSE 1 & 10 - SECTION
1:100



TYPE G - HOUSE 1 & 10 EAST ELEVATION
1:100



TYPE G - HOUSE 1 & 10 WEST ELEVATION
1:100



TYPE G - HOUSE 1 & 10 NORTH ELEVATION
1:100



TYPE G - HOUSE 1 & 10 SOUTH ELEVATION
1:100

BASIX Project Commitments		
Proposed:	Multi-dwelling houses	
Address:	43 Old Saddleback Road, Kiama NSW 2533	
Lot No / DP:	100/751279	
Water (All dwellings)		
Features	Specification	
Shower head rating	3 star (> 4.5 but <= 6 L/min)	
Toilet rating	4 star	
Kitchen taps rating	3 star	
Bathroom taps rating	3 star	
Alternative water details		
Rainwater tank size for every single dwelling	3000L	
Connected to:	Garden and lawn areas	
All toilets	Yes	
Laundry	Yes	
Thermal Comfort		
External walls	Requirements	
Brick veneer	All houses excl. 19 & 20, unconnected walls as per plans	Medium colour, R1.5bulk + Foil (reflective both sides)
Weatherboard	Houses 1, 7, 8, 10, 11, 12, 13, 17, 18, 19, 20 & 21, unconnected walls as per plans	Medium colour, R2.1bulk + Foil (reflective both sides)
Internal walls		
Cavity wall, direct fix plasterboard	All houses	No insulation
Partition walls		
Brick, plasterboard	No insulation	
Ceiling		
External ceiling - Plasterboard	All houses	R4.0 bulk insulation
Roof		
Corrugated iron	All houses	Light Colour (solar absorbance <0.475) Anticon Blanket HP R1.8 (Bulk + Foil, Reflective Side Down, Anti-glare up)
Floors		
Concrete slab on ground	All houses	No insulation
Suspended concrete slab	Units 7, 8, 9, 10, 11, 12, 18, 19, 20 & 21	R1.0 bulk insulation
Windows		
Aluminium frame ALM-003-01	All houses; awning windows and hinge doors	Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group A windows (awning, bifold, casement and tilt 'n' turn type windows/doors).
Aluminium frame ALM-004-01	All houses; sliding	Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung).
Downlights		
Downlight Covers	Approved fireproof downlight covers must be installed to all downlights in ceilings where	
Lighting specification	All kitchen/living/hallways on this project will install 100mm diameter LED downlights at a rate of	
Overshadowing details		
Overshadowing details	Adjoining units calculated into model calculations	
Site		
Orientation of nominal north elevation	As shown on plans	
* Approved fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed (to all bathrooms, ensuites and internal laundry's) at the rate of 0.04 meters squared per exhaust fan penetration. If ADDITIONAL downlights are fitted or are not LED, this certification will be invalid unless insulation is added in compliance with NCC (BCA) Vol 2, 2014, Table 3.12.1.1 (b) and NCC/BSR protocols. Contact the assessor above if alterations are required.		
Energy (All Dwellings)		
Hot water	Specification	Rating
Individual system	Gas instantaneous	6 star
Ventilation		
Bathroom exhaust	Individual fan, not ducted	
Control switch	Manual switch on/off	
Kitchen exhaust	Individual fan, not ducted	
Control switch	Manual switch on/off	
Laundry	Individual fan, not ducted	
Control switch	Manual switch on/off	
Cooling		
Individual systems - living areas	1-phase air conditioning	
Individual systems - bedroom areas	1-phase air conditioning	
Heating		
Individual systems - living areas	1-phase air conditioning	
Individual systems - bedroom areas	1-phase air conditioning	
Appliances		
Cooktop/oven	Gas cooktop & electric oven	
Ventilated fridge space	Yes	
Private outdoor clothes drying line	Yes	

NOTES

ALL DIMENSIONS TO BE CONFIRMED ON-SITE.

ALL TIMBER WORKS TO COMPLY WITH AS 1684 NATIONAL TIMBER FRAMING CODE

ALL BRICKWORK TO COMPLY WITH AS 3700 MASONRY IN BUILDING

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Any discrepancy in the document is to be referred to the company for clarification before proceeding with any work.

WALL LEGEND

- 90mm timber stud
- 250mm brick veneer with wall insulation
- 230mm double brick

ELECTRICAL LEGEND

- double fluorescent light
- LED recessed downlight
- LED pendant or ceiling mounted combined heat lamp/ exhaust fan
- LED wall mounted light

SEPP REQUIREMENTS

Note: This building is to comply with the provisions of SEPP (Housing for Seniors or People with a Disability) 2004. This encompasses access requirements which refer to AS1428 Design for Access and Mobility. The Builder must familiarise himself with both documents, and the conditions which relate to construction, and implement such access requirements therein, whether expressly detailed in these plans or not. Any amendments to the plans require adherence to the same guidelines.

Circulation space required around doorways

Circulation space required for showers

Circulation space required around toilets

Circulation space required around handbasins

FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING | 200

ALL DIMENSIONS TO BE CHECKED ON SITE

300mm ON ORIGINAL

AMENDMENTS

REV	AMENDMENT	DATE	BY

PROJECT :

PROPOSED SENIORS LIVING ESTATE

at LOT 17 DP 1210621 (Formerly Part Lot 100 DP 751279), 43 Old Saddleback Road
KIAMA NSW

CLIENT : **WERITON PROPERTIES**

DRAWING :
TYPE G - HOUSE 1 & 10 - PLANS, ELEVATIONS, SECTION

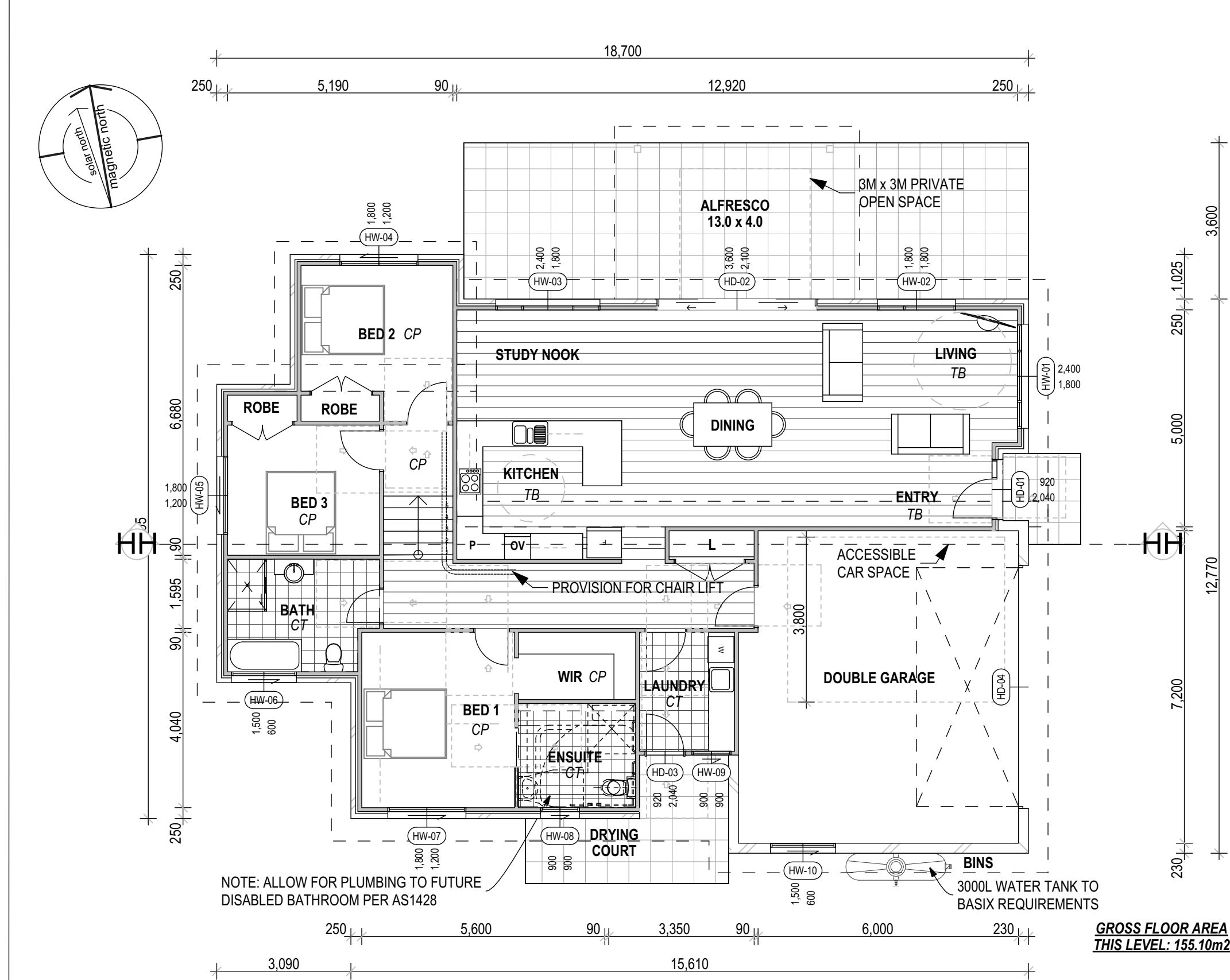
CSA JOB NO. :	610-12-331
SCALES	as shown
DATE	16-10-19
DRAWN BY	AMS

No. IN SET	6 of 17
SHEET NUMBER	HP 01

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SCALE: 0 1.0 2.0 3.0 4.0 5.0
THESE DRAWINGS HAVE BEEN PREPARED FOR DEVELOPMENT APPLICATION

Print date 5/11/2019

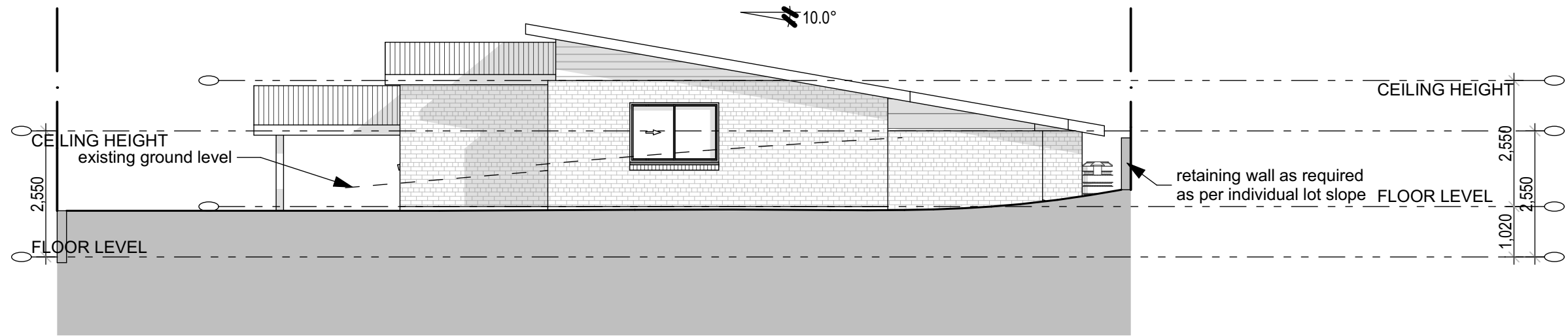


TYPE H - HOUSES 2, 3, 4, 5, 11, 12, 13, 14 PLAN
1:100

BUSHFIRE NOTE: All houses to reach
BAL 29 bushfire construction level - see notes
for compliance and construction measures required



TYPE H - HOUSES 2, 3, 4, 5, 11, 12, 13, 14 EAST ELEVATION
1:100



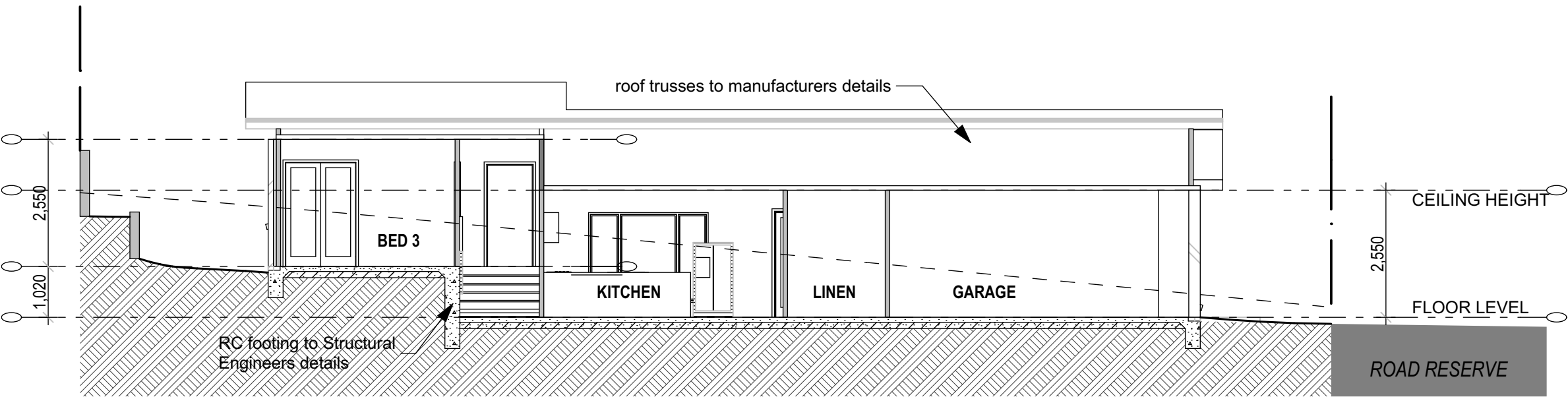
TYPE H - HOUSES 2, 3, 4, 5, 11, 12, 13, 14 WEST ELEVATION
1:100

DOOR SCHEDULE TYPE H HOUSE 2, 3, 4, 5, 6, 13,					
ID	HD-01	HD-02	HD-03	HD-04	HD-04
Height	2,040	2,100	2,040	2,040	2,350
Width	920	3,600	920	920	5,600
3D Front View					

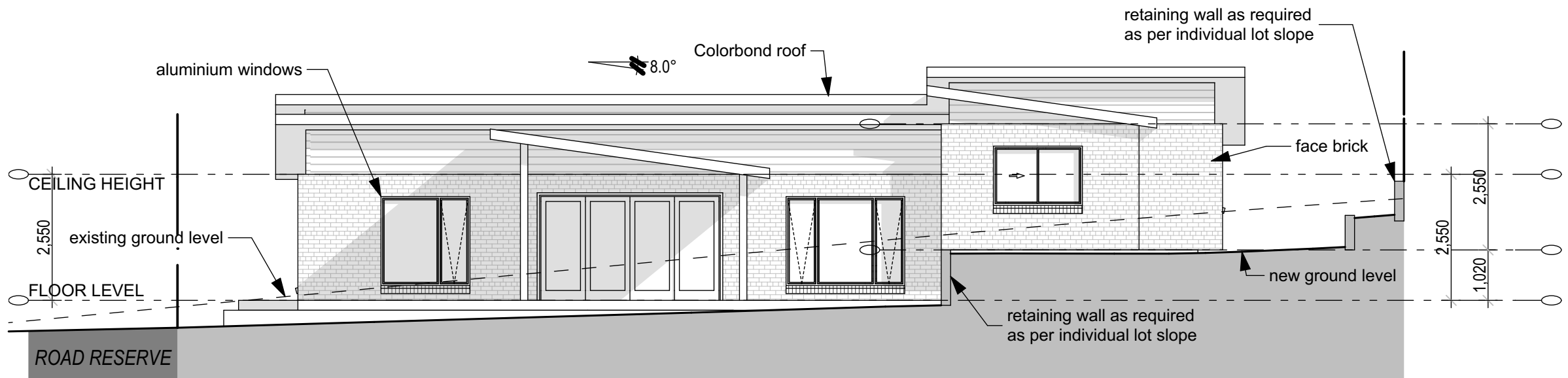
DOOR SCHEDULE TYPE H HOUSE 2, 3, 4, 5, 11, 12, 13, 14

WINDOW SCHEDULE TYPE H HOUSE 2, 3, 4, 5, 6, 13, 14, 15, 16									
ID	HW-01	HW-02	HW-03	HW-04	HW-05	HW-06	HW-07	HW-08	HW-09
Height	1,800	1,800	1,800	1,200	1,200	600	1,200	900	900
Width	2,400	1,800	2,400	1,800	1,800	1,500	1,800	900	1,500
3D Front View									

WINDOW SCHEDULE TYPE H HOUSE 2, 3, 4, 5, 11, 12, 13, 14



TYPE H - SECTION HH
1:100



TYPE H - HOUSES 2, 3, 4, 5, 11, 12, 13, 14 NORTH ELEVATION
1:100



TYPE H - HOUSES 2, 3, 4, 5, 11, 12, 13, 14 SOUTH ELEVATION
1:100

BASIX Project Commitments		
Proposed:	Multi-dwelling houses	
Address:	43 Old Saddleback Road, Kiama NSW 2533	
Lot No / DP:	100/751279	
Water (All dwellings)		
Features	Specification	
Shower head rating	3 star (> 4.5 but <= 6 L/min)	
Toilet rating	4 star	
Kitchen taps rating	3 star	
Bathroom taps rating	3 star	
Alternative water details		
Rainwater tank size for every single dwelling	3000L	
Connected to:	Garden and lawn areas	
All toilets	Yes	
Laundry	Yes	
Thermal Comfort		
External walls	Requirements	
Brick veneer	All houses excl. 19 & 20, constructed walls as per plans	Medium colour, R1.5Bulk + Foil (reflective both sides)
Weatherboard	Houses 1, 7, 8, 10, 11, 12, 13, 17, 18, 19, 20 & 21, constructed walls as per plans	Medium colour, R2.1Bulk + Foil (reflective both sides)
Internal walls	Requirements	
Cavity wall, direct fix plasterboard	All houses	No insulation
Partition walls	Requirements	
Brick, plasterboard	All houses	No insulation
Ceiling	Requirements	
External ceiling - Plasterboard	All houses	R4.0 bulk insulation
Roof	Requirements	
Corrugated iron	All houses	Light Colour (solar absorbance <0.475) Anticon Blanket HP R1.8 (Bulk + Foil, Reflective Side Down, Anti-glare up)
Floors	Requirements	
Concrete slab on ground	All houses	No insulation
Suspended concrete slab	Units 7, 8, 9, 10, 11, 12, 18, 19, 20 & 21	R1.0 bulk insulation
Windows	Requirements	
Aluminium frame ALM-003-01	All houses; awning windows and hinge doors	Double glazed, Air Fil, Clear with U-value 4.8 and SHGC 0.51 for Group A windows (awning, bifold, casement and tilt 'n' turn type windows/doors)
Aluminium frame ALM-004-01	All houses; sliding	Double glazed, Air Fil, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung)
Downlights	Requirements	
Downlight Covers	Approved fireproof downlight covers must be installed to all downlights in ceilings where	
Lighting specification	All kitchen/living/hallways on this project will install 100mm diameter LED downlights at a rate of	
Overshadowing details	Requirements	
Overshadowing details	Adjoining units calculated into model calculations	
Site	Requirements	
Orientation of nominal north elevation	As shown on plans	
* Approved fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed (to all bathrooms, ensuites and internal laundry's) at the rate of 0.04 meters squared per exhaust fan penetration. If ADDITIONAL downlights are fitted or are not LED, this certification will be invalid unless insulation is added in compliance with NCC (BCA) Vol 2, 2014, Table 3.12.1.1 (b) and NCC/BSI protocols. Contact the assessor above if alterations are required.		
Energy (All Dwellings)		
Hot water	Specification	Rating
Individual system	Gas instantaneous	6 star
Ventilation	Requirements	
Bathroom exhaust	Individual fan, not ducted	
Control switch	Manual switch on/off	
Kitchen exhaust	Individual fan, not ducted	
Control switch	Manual switch on/off	
Laundry	Individual fan, not ducted	
Control switch	Manual switch on/off	
Cooling	Requirements	
Individual systems - living areas	1-phase airconditioning	5 star
Individual systems - bedroom areas	1-phase airconditioning	5 star
Heating	Requirements	
Individual systems - living areas	1-phase airconditioning	5 star
Individual systems - bedroom areas	1-phase airconditioning	5 star
Appliances	Requirements	
Cooktop/oven	Gas cooktop & electric oven	
Ventilated fridge space	Yes	
Private outdoor clothes drying line	Yes	

NOTES

ALL DIMENSIONS TO BE CONFIRMED ON-SITE.

ALL TIMBER WORKS TO COMPLY WITH AS 1684
NATIONAL TIMBER FRAMING CODE
ALL BRICKWORK TO COMPLY WITH AS 3700
MASONRY IN BUILDING

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WALL LEGEND

- 90mm timber stud
- 250mm brick veneer with wall insulation
- 230mm double brick

ELECTRICAL LEGEND

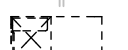
- double fluorescent light
- LED recessed downlight
- LED pendant or ceiling mounted combined heat lamp/ exhaust fan
- LED wall mounted light

SEPP REQUIREMENTS

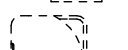
Note: This building is to comply with the provisions of SEPP (Housing for Seniors or People with a Disability) 2004. This encompasses access requirements which refer to AS1428 Design for Access and Mobility. The Builder must familiarise himself with both documents, and the conditions which relate to construction, and implement such access requirements therein, whether expressly detailed in these plans or not. Any amendments to the plans require adherence to the same guidelines.



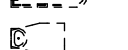
Circulation space required around doorways



Circulation space required for showers



Circulation space required around toilets



Circulation space required around handbasins

AMENDMENTS

REV	AMENDMENT	DATE	BY

PROJECT :

**PROPOSED SENIORS
LIVING ESTATE**
at LOT 17 DP 1210621 (Formerly Part
Lot 100 DP 751279), 43 Old Saddleback
Road
KIAMA NSW

CLIENT :

**WERITON
PROPERTIES**

DRAWING :

**TYPE H - HOUSE 2, 3,
4, 5, 11, 12, 13, 14 -
PLANS, ELEVATIONS,
SECTION**

CSA JOB NO. : 610-12-331

SCALES as shown No. IN SET 7 of 17

DATE 16-10-19

SHEET NUMBER

DRAWN BY

AMS

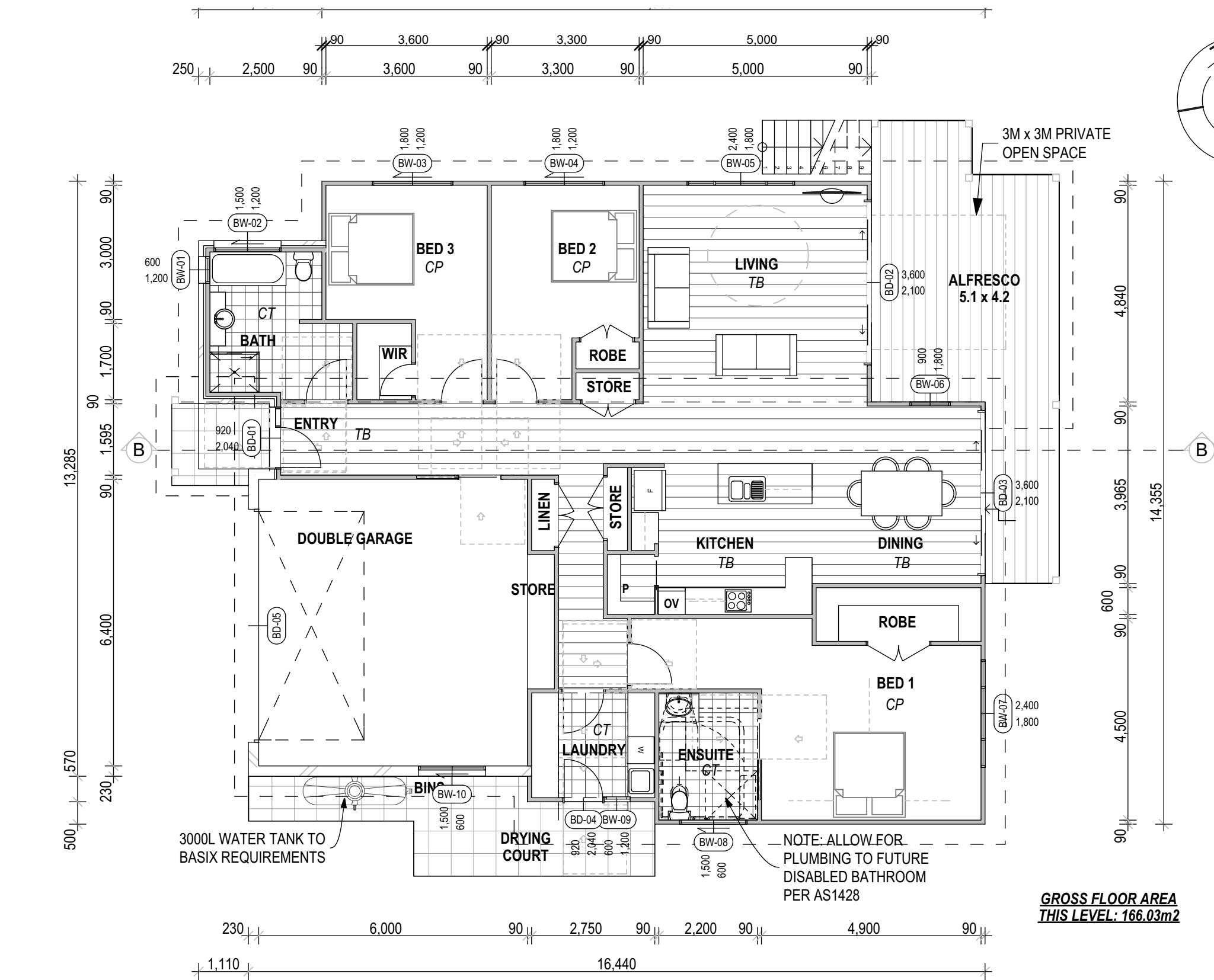
HP 02

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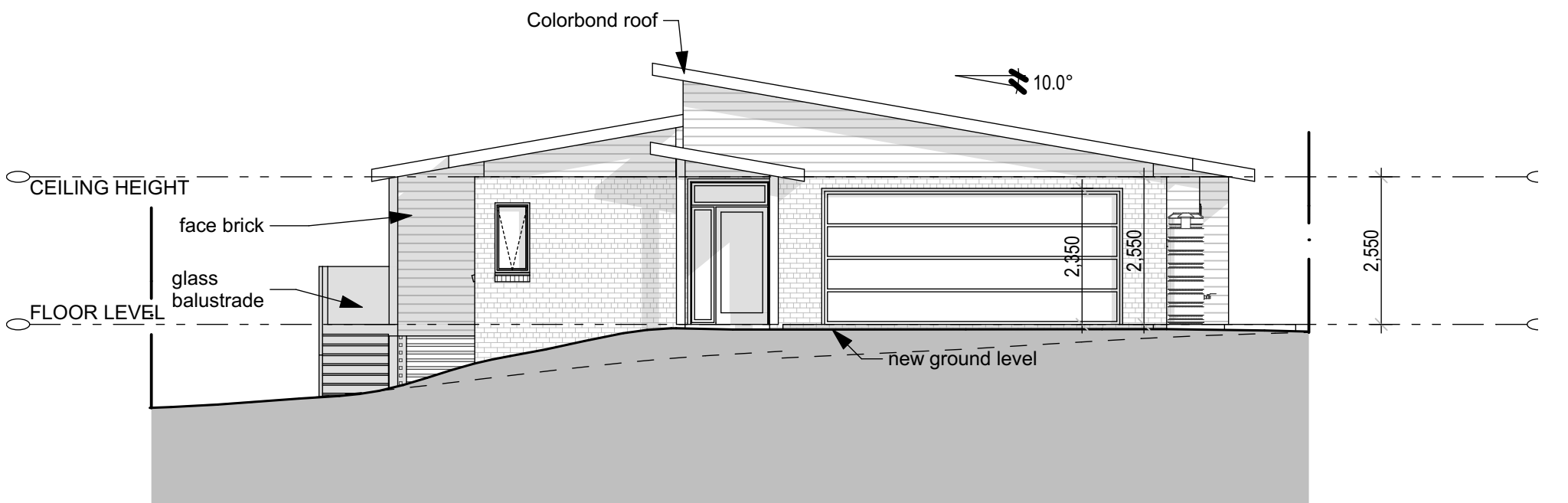
SCALE
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THESE DRAWINGS HAVE BEEN PREPARED FOR
DEVELOPMENT APPLICATION

Print date 5/11/2019

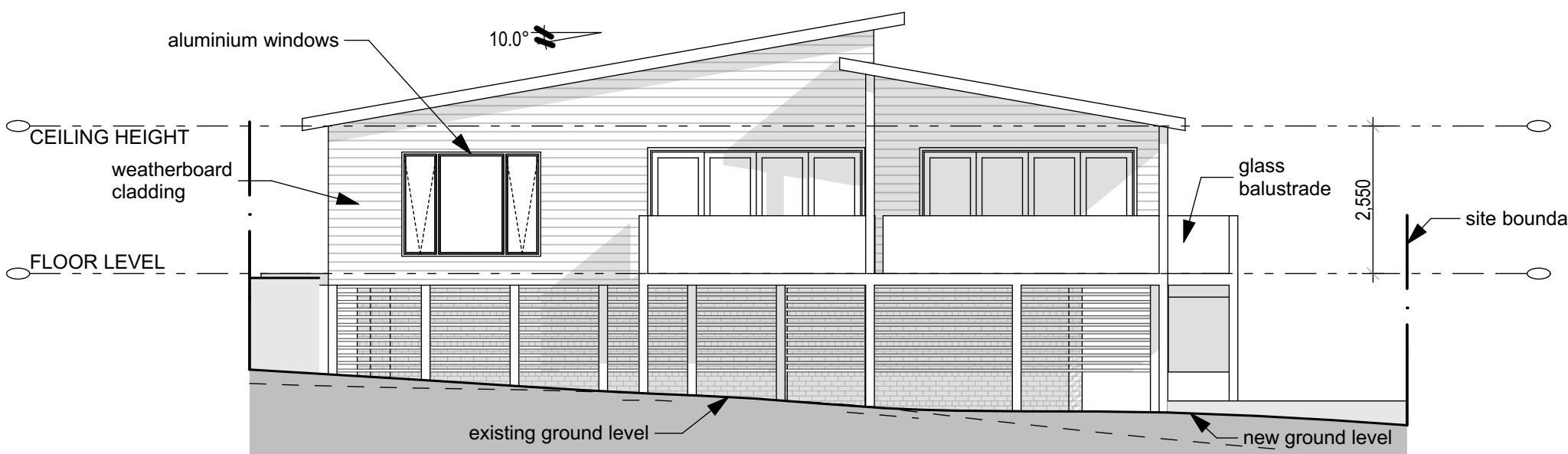


TYPE B - HOUSE 6, 7, 8, 9 PLAN
1:100

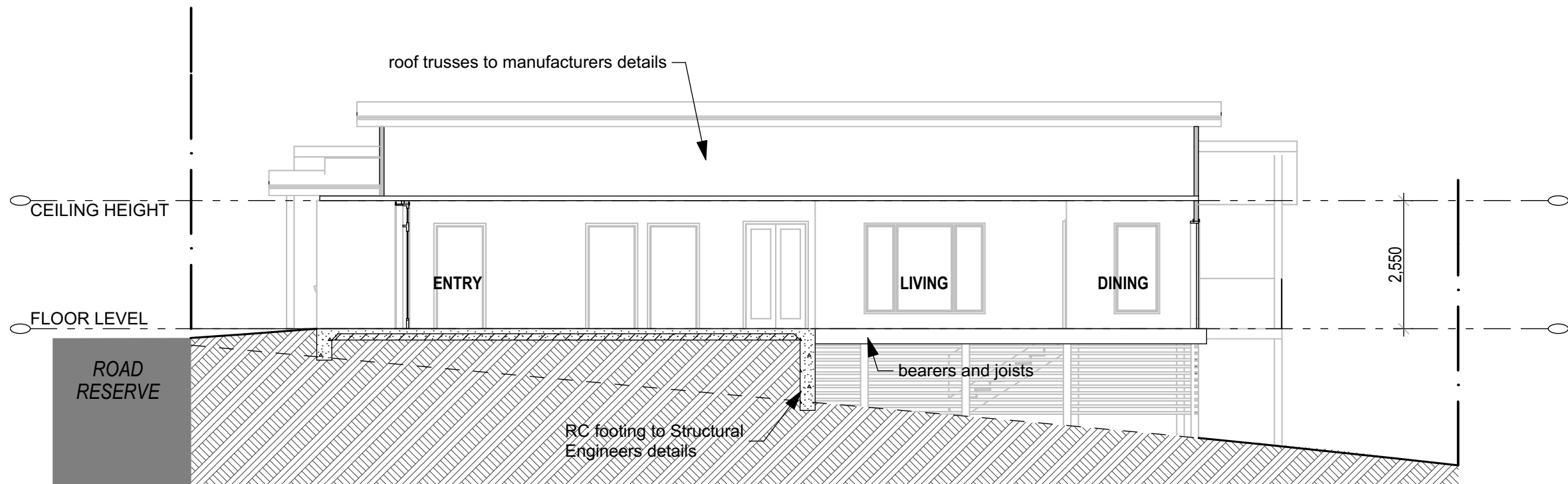
BUSHFIRE NOTE: All houses to reach
BAL 29 bushfire construction level - see notes
for compliance and construction measures required



TYPE B - HOUSE 6, 7, 8, 9 - WEST ELEVATION
1:100



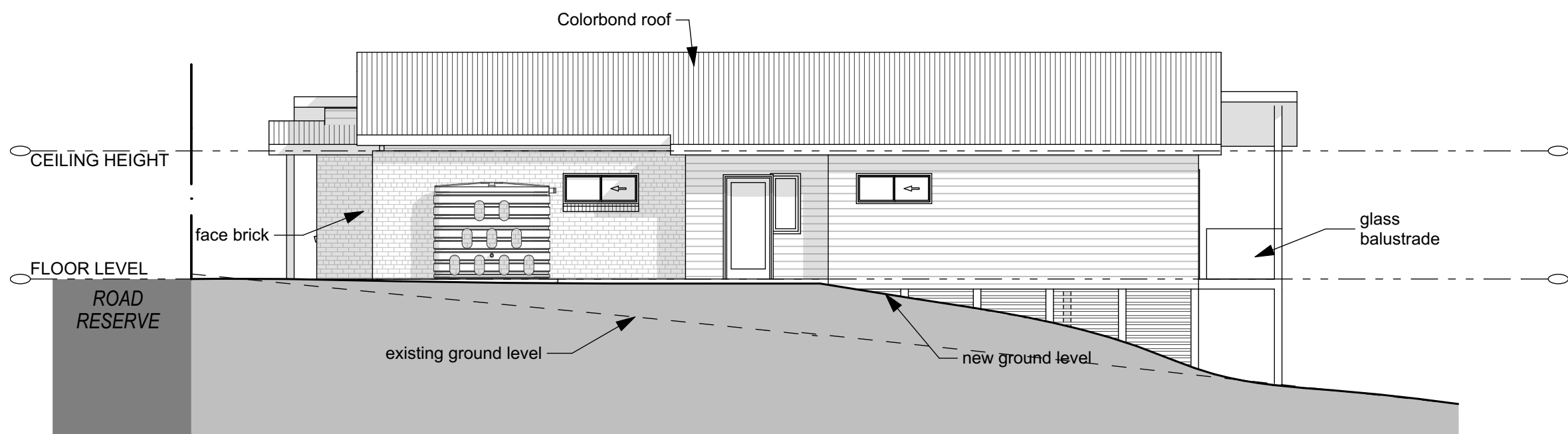
TYPE B - HOUSE 6, 7, 8, 9 - EAST ELEVATION
1:100



TYPE B - SECTION BB
1:100



TYPE B - HOUSE 6, 7, 8, 9 - NORTH ELEVATION
1:100



TYPE B - HOUSE 6, 7, 8, 9 - SOUTH ELEVATION
1:100

DOOR SCHEDULE TYPE B HOUSE 11, 12					
ID	BD-01	BD-02	BD-03	BD-04	BD-05
Height	2,040	2,100	2,100	2,040	2,350
Width	920	3,600	3,600	920	5,200
3D Front View					

DOOR SCHEDULE TYPE B HOUSE 6, 7, 8, 9

BASIX Project Commitments		
Proposed:	Multi-dwelling houses	
Address:	43 Old Saddleback Road, Kiama NSW 2533	
Lot No / DP:	100/751279	
Water (All dwellings)		
Fixtures	Specification	
Shower head rating	3 star (> 4.5 but <= 6.1/min)	
Toilet rating	4 star	
Kitchen taps rating	3 star	
Bathroom taps rating	3 star	
Alternative water details		
Rainwater tank size for every single dwelling	3000L	
Connected to:	Garden and lawn areas	
All toilets	Yes	
Laundry	Yes	
Thermal Comfort		
Requirements		
External walls		
Brick veneer	All houses excl. 19 & 20, unselected walls as per plans	Medium colour, R1.5bulk + Foil (reflective both sides)
Weatherboard	Houses 1, 7, 8, 10, 11, 12, 13, 17, 18, 19, 20 & 21, unselected walls as per plans	Medium colour, R2.1bulk + Foil (reflective both sides)
Internal walls		
Cavity wall, direct fix plasterboard	All houses	No insulation
Partition walls		
Brick, plasterboard	All houses	No insulation
Ceiling		
External ceiling - plasterboard	All houses	R4.0 bulk insulation
Roof		
Corrugated iron	All houses	Light Colour (solar absorptance <0.475) Anticon Blanket HP R1.8 (Bulk + Foil, Reflective Side Down, Anti-glare up)
Floors		
Concrete slab on ground	All houses	No insulation
Suspended concrete slab	Units 7, 8, 9, 10, 11, 12, 18, 19, 20 & 21	R1.0 bulk insulation
Windows		
Aluminium frame ALM-003-01	All houses; awning windows and hinge doors	Double glazed, Air Fil, Clear with U-value 4.8 and SHGC 0.51 for Group A windows (awning, hinge, casement and tilt 'n' turn type windows/doors)
Aluminium frame ALM-004-01	All houses; sliding	Double glazed, Air Fil, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung)
Downlights		
Downlight covers	Approved fireproof downlight covers must be installed to all downlights in ceilings where	
Lighting specification	All kitchen/living/hallways on this project will install 100mm diameter LED downlights at a rate of	
Overheading details	Adjoining units calculated into model calculations	
Site	As shown on plans	
Orientation of nominal north elevation		
* Approved fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed (for all bathrooms, ensuites and internal laundry's) at the rate of 0.04 metres squared per exhaust fan penetration. If ADDITIONAL downlights are fitted or are not LED, this certification will be invalid unless insulation is added in compliance with NCC (BCA) Vol 2, 2014, Table 3.12.1.1 (b) and NCC/ERS protocols. Contact the assessor above if alterations are required.		
Energy (All Dwellings)		
Hot water	Specification	Rating
Individual system	Gas instantaneous	6 star
Ventilation		
Bathroom exhaust	Individual fan, not ducted	
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Kitchen exhaust	Individual fan, not ducted	
Control switch	Manual switch on/off	
Laundry	Individual fan, not ducted	
Control switch	Manual switch on/off	
Cooling		
Individual systems - living areas	1-phase airconditioning	
Individual systems - bedroom areas	1-phase airconditioning	
Heating		
Individual systems - living areas	1-phase airconditioning	
Individual systems - bedroom areas	1-phase airconditioning	
Appliances		
Cooktop/oven	Gas cooktop & electric oven	
Ventilated fridge space	Yes	
Private outdoor clothes drying line	Yes	

WINDOW SCHEDULE TYPE B HOUSE 11, 12					
ID	BW-01	BW-02	BW-03	BW-04	BW-05
Height	1,200	1,200	1,200	1,200	1,800
Width	600	1,500	1,800	1,800	2,400
3D Front View					

BW-06	BW-07	BW-08	BW-09	BW-10
1,800	1,800	600	1,200	600
900	2,400	1,500	600	1,500

WINDOW SCHEDULE TYPE B HOUSE 6, 7, 8, 9

NOTES

ALL DIMENSIONS TO BE CONFIRMED ON-SITE.

ALL TIMBER WORKS TO COMPLY WITH AS 1684

NATIONAL TIMBER FRAMING CODE

ALL BRICKWORK TO COMPLY WITH AS 3700

MASONRY IN BUILDING

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company for clarification before proceeding with any work.

WALL LEGEND

- 90mm timber stud
- 250mm brick veneer with wall insulation
- 230mm double brick

ELECTRICAL LEGEND

- double fluorescent light
- LED recessed downlight
- LED pendant or ceiling mounted
- combined heat lamp/ exhaust fan
- LED wall mounted light

SEPP REQUIREMENTS

Note: This building is to comply with the provisions of SEPP (Housing for Seniors or People with a Disability) 2004. This encompasses access requirements which refer to AS1428 Design for Access and Mobility. The Builder must familiarise himself with both documents, and the conditions which relate to construction, and implement such access requirements therein, whether expressly detailed in these plans or not. Any amendments to the plans require adherence to the same guidelines.

AMENDMENTS

- Circulation space required around doorways
- Circulation space required for showers
- Circulation space required around toilets
- Circulation space required around handbasins

AMENDMENTS

REV	AMENDMENT	DATE	BY

PROJECT :

**PROPOSED SENIORS
LIVING ESTATE**
at LOT 17 DP 1210621 (Formerly Part
Lot 100 DP 751279), 43 Old Saddleback
Road
KIAMA NSW

CLIENT :

**WERITON
PROPERTIES**

DRAWING :

**TYPE B - HOUSE 6, 7,
8, 9 - PLANS,
ELEVATIONS,
SECTION**

CSA JOB NO. : **610-12-331**

SCALES **as shown** No. IN SET **8 of 17**

DATE **16-10-19**

SHEET
NUMBER

DRAWN BY
AMS

HP 03

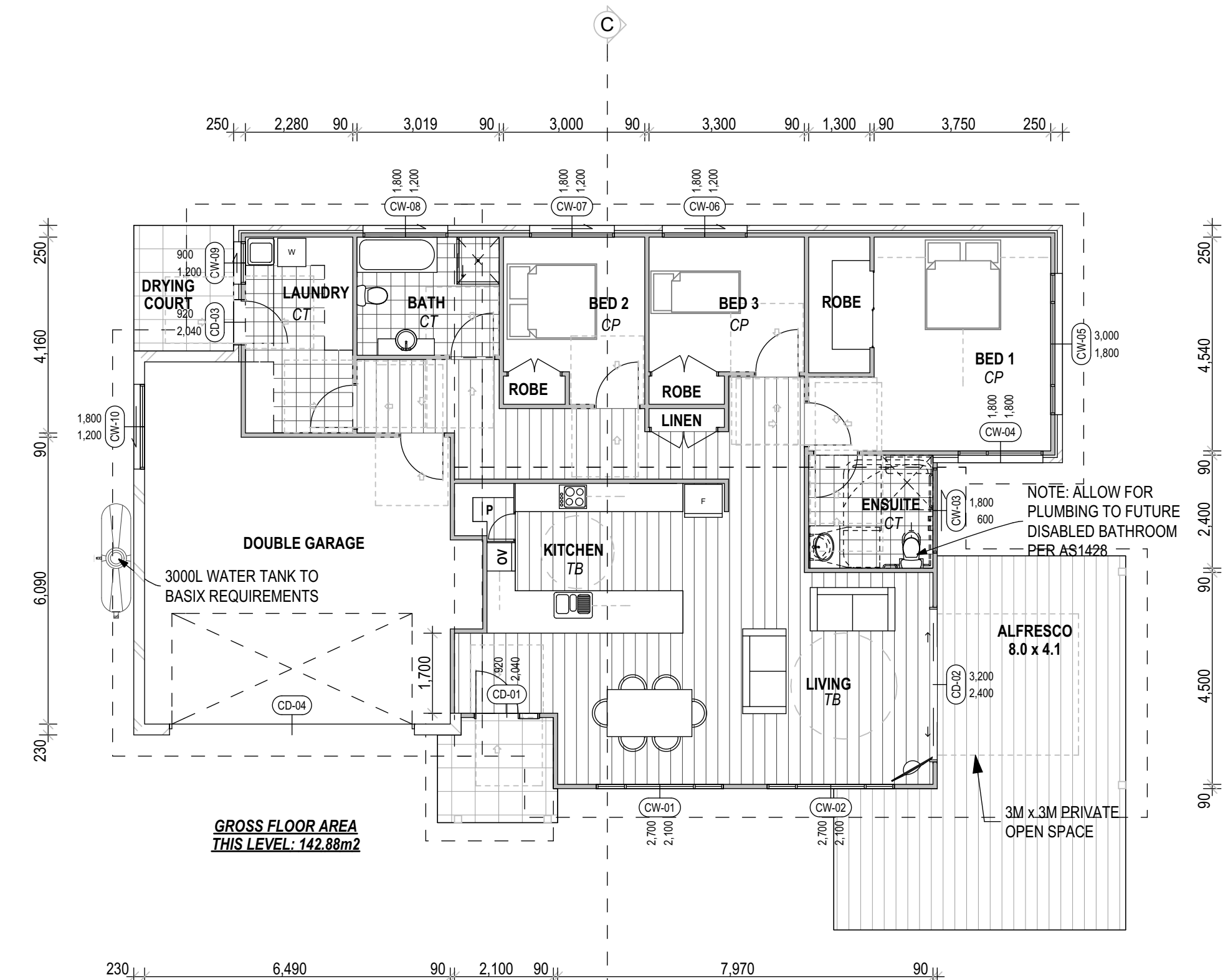
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architects

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Ph 02 4869 5395 ■ Fax 02 4869 5495 ■ cs.arch@bigpond.net.au

Andrew Coble Architects Registration 6922 Alison Stephens Architects Registration 6678

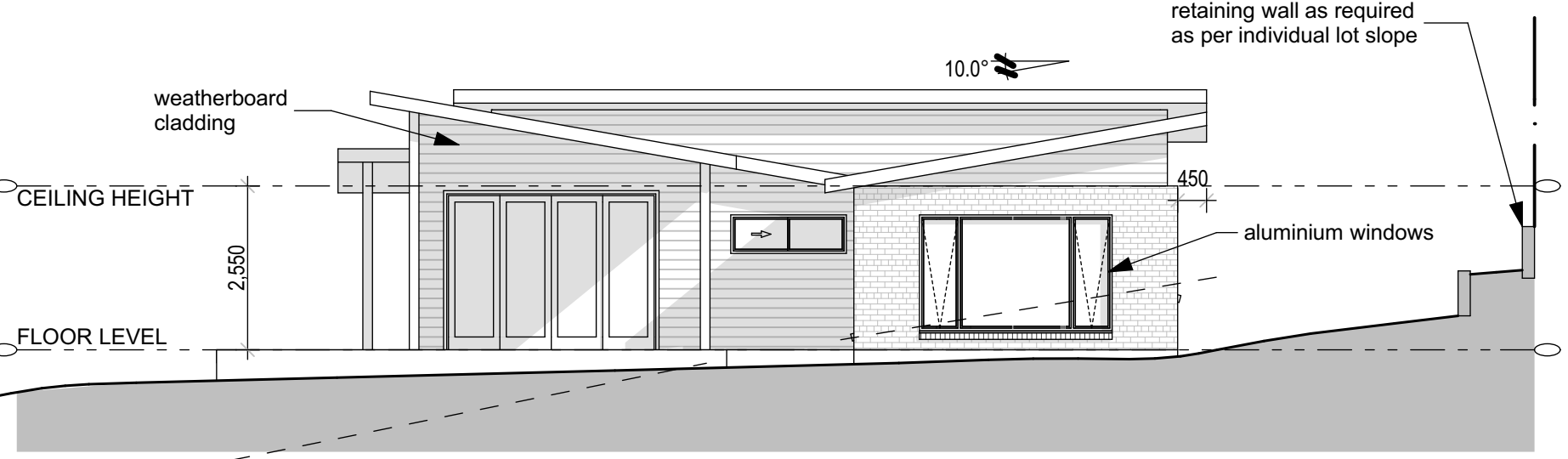
SCALE
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THESE DRAWINGS HAVE BEEN PREPARED FOR
DEVELOPMENT APPLICATION

Print date 5/11/2019



TYPE C - HOUSE 15 PLAN
1:100

BUSHFIRE NOTE: All houses to reach
BAL 29 bushfire construction level - see notes
for compliance and construction measures required



TYPE C - NORTH ELEVATION
1:100



TYPE C - SOUTH ELEVATION
1:100

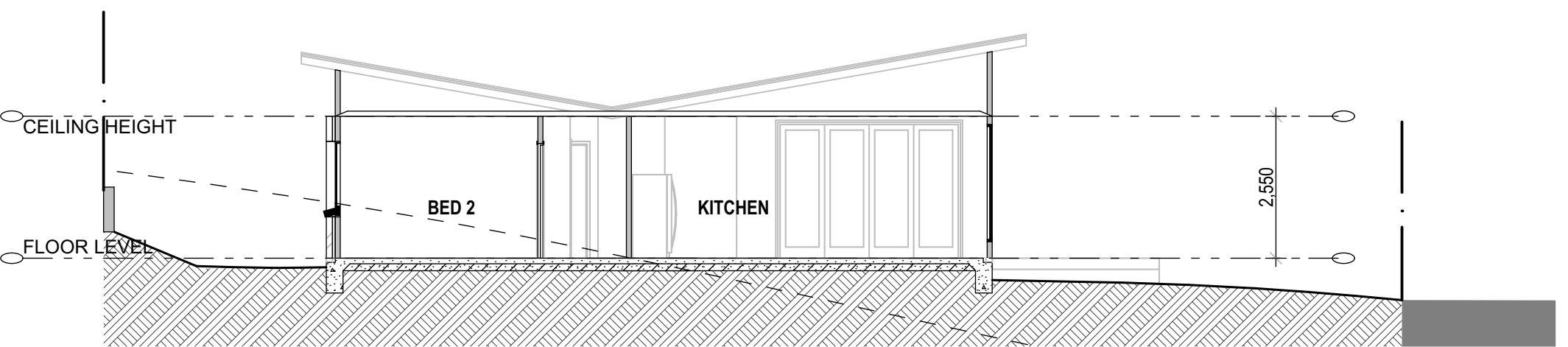
WINDOW SCHEDULE TYPE C HOUSE 17								
ID	CW-01	CW-02	CW-03	CW-04	CW-05	CW-06	CW-07	CW-08
Height	2,100	2,100	600	1,800	1,800	1,200	1,200	1,200
Width	2,700	2,700	1,800	1,800	3,000	1,800	1,800	1,800
3D Front View								

CW-09	CW-10
1,200	1,200
900	1,800

WINDOW SCHEDULE TYPE C HOUSE 15

DOOR SCHEDULE TYPE C HOUSE 17			
ID	CD-01	CD-02	CD-03
Height	2,040	2,400	2,040
Width	920	3,200	920
CD-04	2,350	5,200	
3D Front View			

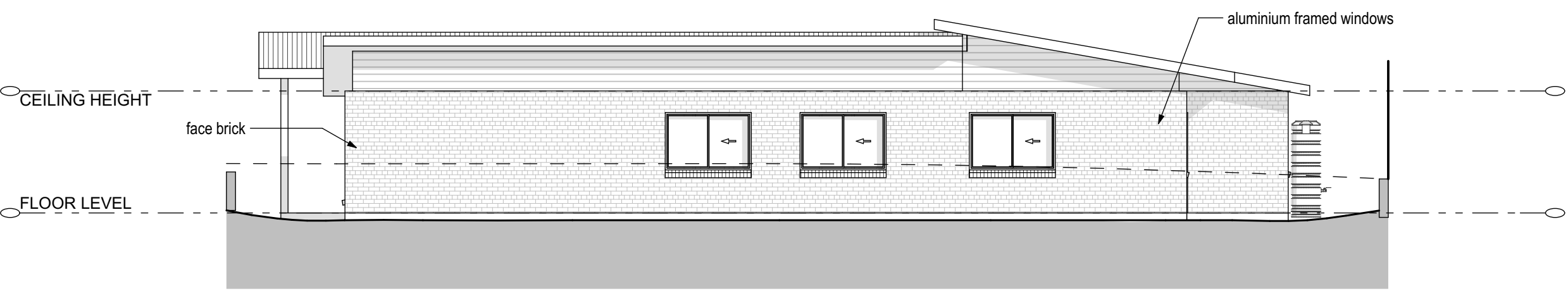
DOOR SCHEDULE TYPE C HOUSE 15



TYPE C - SECTION CC
1:100



TYPE C - EAST ELEVATION
1:100



TYPE C - WEST ELEVATION
1:100

BASIX Project Commitments		
Proposed:	Multi-dwelling houses	
Address:	43 Old Saddleback Road, Kiama NSW 2533	
Lot No / DP:	100/751279	
Water (All dwellings)		
Future:	Specification	
Shower head rating	3 star (> 4.5 but <= 6 L/min)	
Toilet rating	4 star	
Kitchen taps rating	3 star	
Bathroom taps rating	3 star	
Alternative water details		
Rainwater tank size for every single dwelling	300L	
Connected to:	Garden and lawn areas	Yes
All toilets	Laundry	Yes
Thermal Comfort		
External walls	Requirements	
Brick veneer	All houses excl. 19 & 20, unconstructed walls as per plans	Medium colour, R1.5Bulk + Foil (reflective both sides)
Weatherboard	Houses 1, 7, 8, 10, 11, 12, 13, 17, 18, 19, 20 & 21, unconstructed walls as per plans	Medium colour, R2.1Bulk + Foil (reflective both sides)
Internal walls	Requirements	
Cavity wall, direct fix plasterboard	All houses	No insulation
Partition walls	Requirements	
Brick, plasterboard		No insulation
Ceiling	Requirements	
External ceiling - Plasterboard	All houses	R4.0 bulk insulation
Roof	Requirements	
Corrugated iron	All houses	Light Colour (solar absorbance <0.475) Anticon Blanket HP R1.8 (Bulk + Foil, Reflective Side Down, Anti-glare up)
Floors	Requirements	
Concrete slab on ground	All houses	No insulation
Suspended concrete slab	Units 7, 8, 9, 10, 11, 12, 18, 19, 20 & 21	R1.0 bulk insulation
Windows	Requirements	
Aluminium frame ALM-003-01	All houses; awning windows and hinge doors	Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group A windows (awning, bifold, casement and tilt 'n' turn type windows/doors)
Aluminium frame ALM-004-01	All houses; sliding	Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung)
Downlights	Requirements	
Downlight Covers	Approved fireproof downlight covers must be installed to all downlights in ceilings where All kitchen/living/hallways on this project will install 100mm diameter LED downlights at a rate of	
Lighting specification	Approved fireproof downlight covers must be installed to all downlights in ceilings where All kitchen/living/hallways on this project will install 100mm diameter LED downlights at a rate of	
Overshadowing details	Requirements	
	Adjoining units calculated into model calculations	
Site	Requirements	
Orientation of nominal north elevation	As shown on plans	
* Approved fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed (to all bathrooms, ensuites and internal laundry's) at the rate of 0.04 meters squared per exhaust fan penetration. If ADDITIONAL downlights are fitted or are not LED, this certification will be invalid unless insulation is added in compliance with NCC (BCA) Vol 2, 2014, Table 3.12.1.1 (b) and Napiers protocols. Contact the assessor above if alterations are required.		
Energy (All Dwellings)		
Hot water	Specification	Rating
Individual system	Gas instantaneous	6 star
Ventilation	Requirements	
Bathroom exhaust	Individual fan, not ducted	Manual switch on/off
Kitchen exhaust	Individual fan, not ducted	Manual switch on/off
Laundry	Individual fan, not ducted	Manual switch on/off
Cooling	Requirements	
Individual systems - living areas	1-phase air conditioning	5 star
Individual systems - bedroom areas	1-phase air conditioning	5 star
Heating	Requirements	
Individual systems - living areas	1-phase air conditioning	5 star
Individual systems - bedroom areas	1-phase air conditioning	5 star
Appliances	Requirements	
Cooktop/oven	Gas cooktop & electric oven	Yes
Ventilated fridge space	Yes	
Private outdoor clothes drying line	Yes	

NOTES

ALL DIMENSIONS TO BE CONFIRMED ON-SITE.

ALL TIMBER WORKS TO COMPLY WITH AS 1684 NATIONAL TIMBER FRAMING CODE

ALL BRICKWORK TO COMPLY WITH AS 3700 MASONRY IN BUILDING

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WALL LEGEND

- 90mm timber stud
- 250mm brick veneer with wall insulation
- 230mm double brick

ELECTRICAL LEGEND

- double fluorescent light
- LED recessed downlight
- LED pendant or ceiling mounted combined heat lamp/ exhaust fan
- LED wall mounted light

SEPP REQUIREMENTS

Note: This building is to comply with the provisions of SEPP (Housing for Seniors or People with a Disability) 2004. This encompasses access requirements which refer to AS1428 Design for Access and Mobility. The Builder must familiarise himself with both documents, and the conditions which relate to construction, and implement such access requirements therein, whether expressly detailed in these plans or not. Any amendments to the plans require adherence to the same guidelines.

Circulation space required around doorways

Circulation space required for showers

Circulation space required around toilets

Circulation space required around handbasins

FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING

200 300mm ON ORIGINAL

AMENDMENTS			
REV	AMENDMENT	DATE	BY

PROJECT :
**PROPOSED SENIORS
LIVING ESTATE**
at LOT 17 DP 1210621 (Formerly Part
Lot 100 DP 751279), 43 Old Saddleback
Road
KIAMA NSW

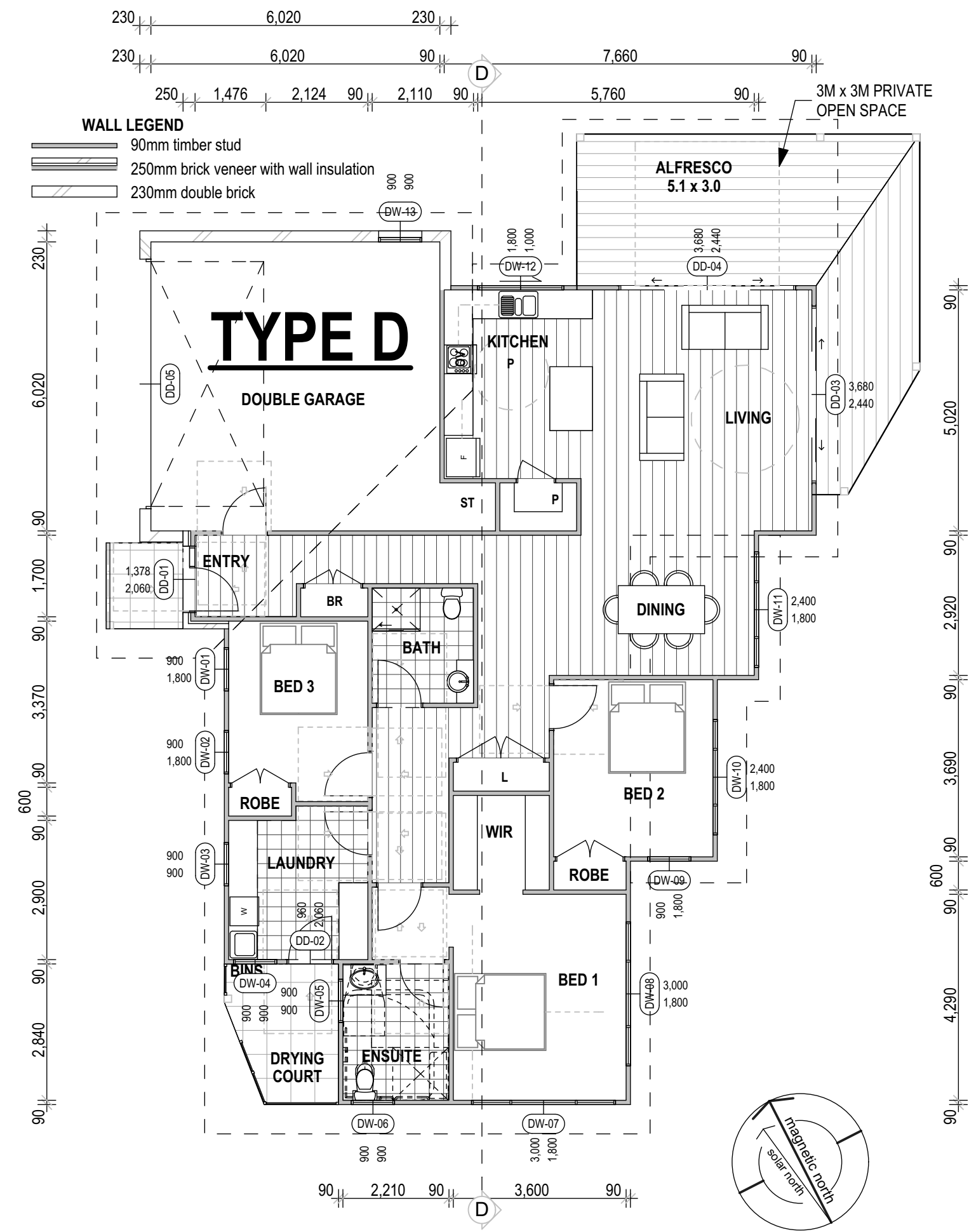
CLIENT : **WERITON
PROPERTIES**
DRAWING :
**TYPE C - HOUSE 15 -
PLANS, ELEVATIONS,
SECTION**

CSA JOB NO. : 610-12-331	No. IN SET 9 of 17
SCALES as shown	SHEET NUMBER
DATE 16-10-19	HP 04
DRAWN BY AMS	

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Andrew Coble Architects Registration 6922 Alison Stephens Architects Registration 6678

SCALE 0 1.0 2.0 3.0 4.0 5.0
THESE DRAWINGS HAVE BEEN PREPARED FOR
DEVELOPMENT APPLICATION



TYPE D - HOUSE 16 - FLOOR PLAN

BUSHFIRE NOTE: All houses to reach BAL 29 bushfire construction level - see notes for compliance and construction measures required

BASIX Project Commitments		
Proposed:	Multi-dwelling houses	
Address:	43 Old Saddleback Road, Kiama NSW 2533	
Lot No / DP:	100/751279	
Water (All dwellings)		
Fixtures	Specification	
Shower head rating	3 star (> 4.5 but <= 6 L/min)	
Toilet rating	4 star	
Kitchen taps rating	3 star	
Bathroom taps rating	3 star	
Alternative water details		
Rainwater tank size for every single dwelling	3000L	
Connected to:	Garden and lawn areas	
All toilets	Yes	
Laundry	Yes	
Thermal Comfort		
External walls		Requirements
Brick veneer	All houses excl. 19 & 20, unselected walls as per plans	Medium colour, R1.5bulk + Foil (reflective both sides)
Weatherboard	Houses 1, 7, 8, 10, 11, 12, 13, 17, 18, 19, 20 & 21, unselected walls as per plans	Medium colour, R2.1bulk + Foil (reflective both sides)
Internal walls		Requirements
Cavity wall, direct fix plasterboard	All houses	No insulation
Partition walls		Requirements
Brick, plasterboard		No insulation
Ceiling		Requirements
External ceiling - Plasterboard	All houses	R4.0 bulk insulation
Roof		
Corrugated iron	All houses	Light Colour (solar absorbance <0.475) Alison Blanket HP R1.1 (Bulk + Foil, Reflective Side Down, Anti-glare up)
Floors		
Concrete slab on ground	All houses	No insulation
Suspended concrete slab	Units 7, 8, 9, 10, 11, 12, 18, 19, 20 & 21	R1.0 bulk insulation
Windows		
Aluminium frame ALM-003-01	All houses; awning windows and hinge doors	Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group A windows (awning, bifold, casement and tilt 'n' turn type windows/doors)
Aluminium frame ALM-004-01	All houses; sliding	Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung)
Downlights		
Downlight Covers	Approved fireproof downlight covers must be installed to all downlights in ceilings where All kitchen/living/hallways on this project will install 100mm diameter LED downlights at a rate of	
Lighting specification	All kitchen/living/hallways on this project will install 100mm diameter LED downlights at a rate of	
Overshadowing details		Adjoining units calculated into model calculations
Site		As shown on plans
Orientation of nominal north elevation		
* Approved fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed (to all bathrooms, ensuites and internal laundry's) at the rate of 0.04 meters squared per exhaust fan penetration. ADDITIONAL downlights are fitted or are not LED, this certification will be invalid unless insulation is added in compliance with NCC (BCA) Vol 2, 2014, Table 3.12.1.1 (b) and NatHERS protocols. Contact the assessor above if alterations are required.		
Energy (All Dwellings)		
Hot water	Specification	Rating
Individual system	Gas instantaneous	6 star
Ventilation		
Bathroom exhaust	Individual fan, not ducted	Manual switch on/off
Kitchen exhaust	Individual fan, not ducted	Manual switch on/off
Laundry	Individual fan, not ducted	Manual switch on/off
Control switch	Individual fan, not ducted	Manual switch on/off
Cooling		
Individual systems - living areas	1-phase air conditioning	5 star
Individual systems - bedroom areas	1-phase air conditioning	5 star
Heating		
Individual systems - living areas	1-phase air conditioning	5 star
Individual systems - bedroom areas	1-phase air conditioning	5 star
Appliances		
Cooktop/oven	Gas cooktop & electric oven	
Ventilated fridge space	Yes	
Private outdoor clothes drying line	Yes	

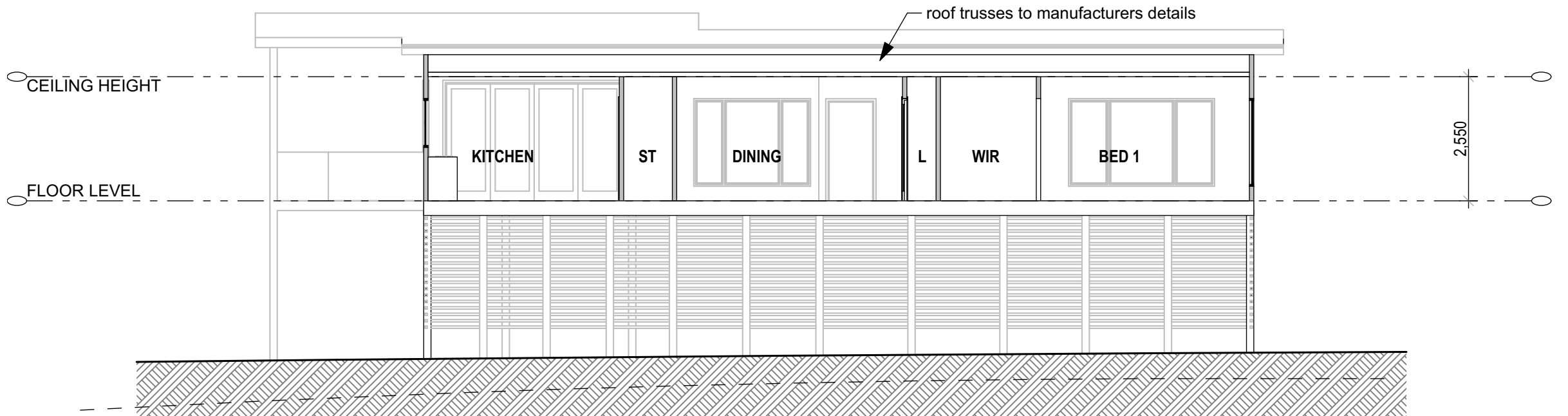
WINDOW SCHEDULE TYPE D HOUSE 18										
ID	DW-01	DW-02	DW-03	DW-04	DW-05	DW-06	DW-07	DW-08	DW-09	DW-10
Height	1,800	1,800	900	900	900	900	1,800	1,800	1,800	1,800
Width	900	900	900	900	900	900	3,000	3,000	900	2,400
3D Front View										

DW-11	DW-12	DW-13
1,800	1,000	900
2,400	1,800	900

WINDOW SCHEDULE TYPE D HOUSE 16

DOOR SCHEDULE TYPE D HOUSE 18						
ID	DD-01	DD-02	DD-03	DD-04	DD-05	DD-06
Height	2,040	2,040	2,400	2,400	2,300	2,350
Width	920	920	3,600	3,600	5,200	5,200
3D Front View						

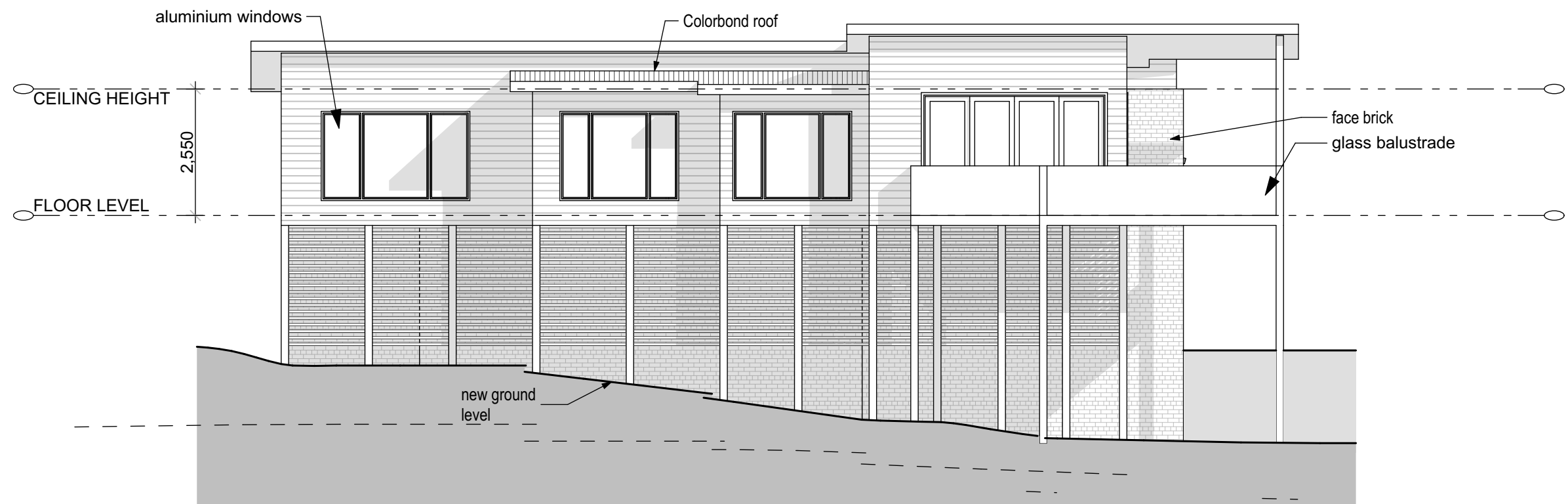
DOOR SCHEDULE TYPE D HOUSE 16



TYPE D - SECTION DD



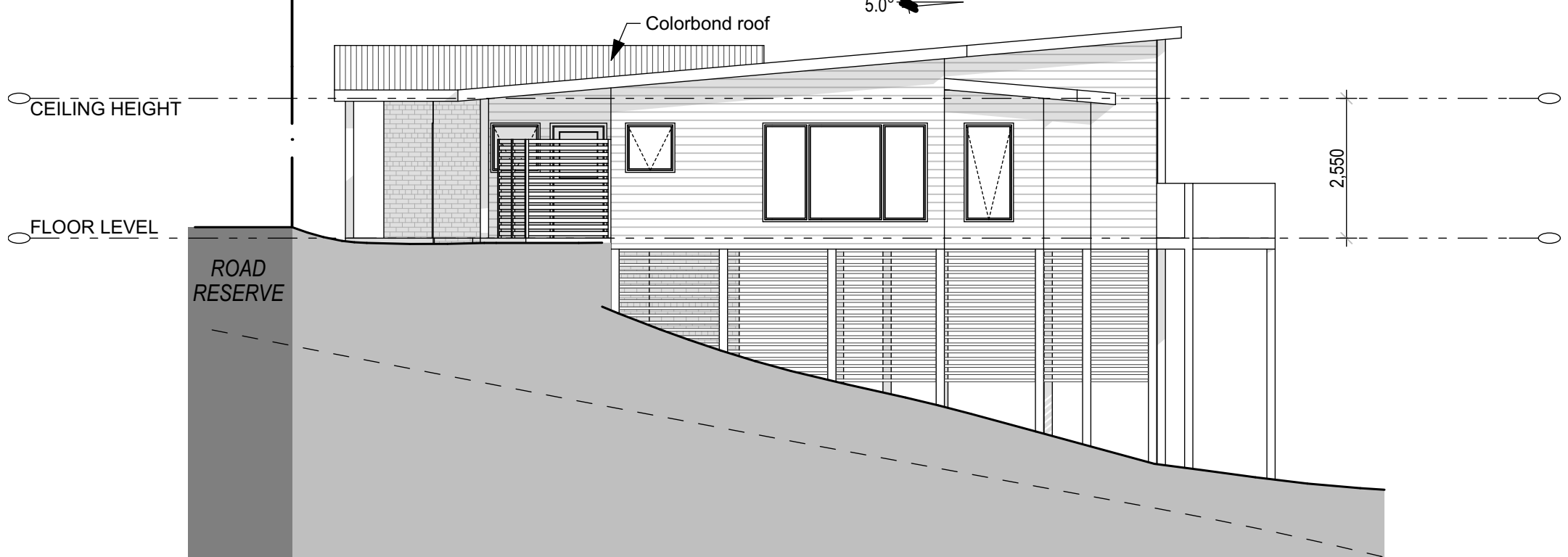
TYPE D - NORTH WEST ELEVATION



TYPE D - SOUTH EAST ELEVATION



TYPE D - NORTH EAST ELEVATION



TYPE D - SOUTH WEST ELEVATION

SEPP REQUIREMENTS

Note: This building is to comply with the provisions of SEPP (Housing for Seniors or People with a Disability) 2004. This encompasses access requirements which refer to AS1428 Design for Access and Mobility. The Builder must familiarise himself with both documents, and the conditions which relate to construction, and implement such access requirements therein, whether expressly detailed in these plans or not. Any amendments to the plans require adherence to the same guidelines.

Circulation space required around doorways

Circulation space required for showers

Circulation space required around toilets

Circulation space required around handbasins

NOTES

ALL DIMENSIONS TO BE CONFIRMED ON-SITE.

ALL TIMBER WORKS TO COMPLY WITH AS 1684 NATIONAL TIMBER FRAMING CODE

ALL BRICKWORK TO COMPLY WITH AS 3700 MASONRY IN BUILDING

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AMENDMENTS

REV	AMENDMENT	DATE	BY

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PO BOX 2072 ■ BOWRAL ■ NSW 2576
Ph 02 4869 5395 ■ Fax 02 4869 5495 ■ cs.arch@bigpond.net.au
Andrew Coble Architects Registration 6922 Alison Stephens Architects Registration 6678

PROJECT :

PROPOSED SENIORS LIVING ESTATE

at

LOT 17 DP 1210621 (Formerly Part Lot 100 DP 751279), 43 Old Saddleback Road KIAMA NSW

CLIENT :

WERITON PROPERTIES

DRAWING :

TYPE D - HOUSE 16 - PLANS, ELEVATIONS, SECTION

CSA JOB NO. : **610-12-331**

SCALES **as shown** No. IN SET **10 of 17**

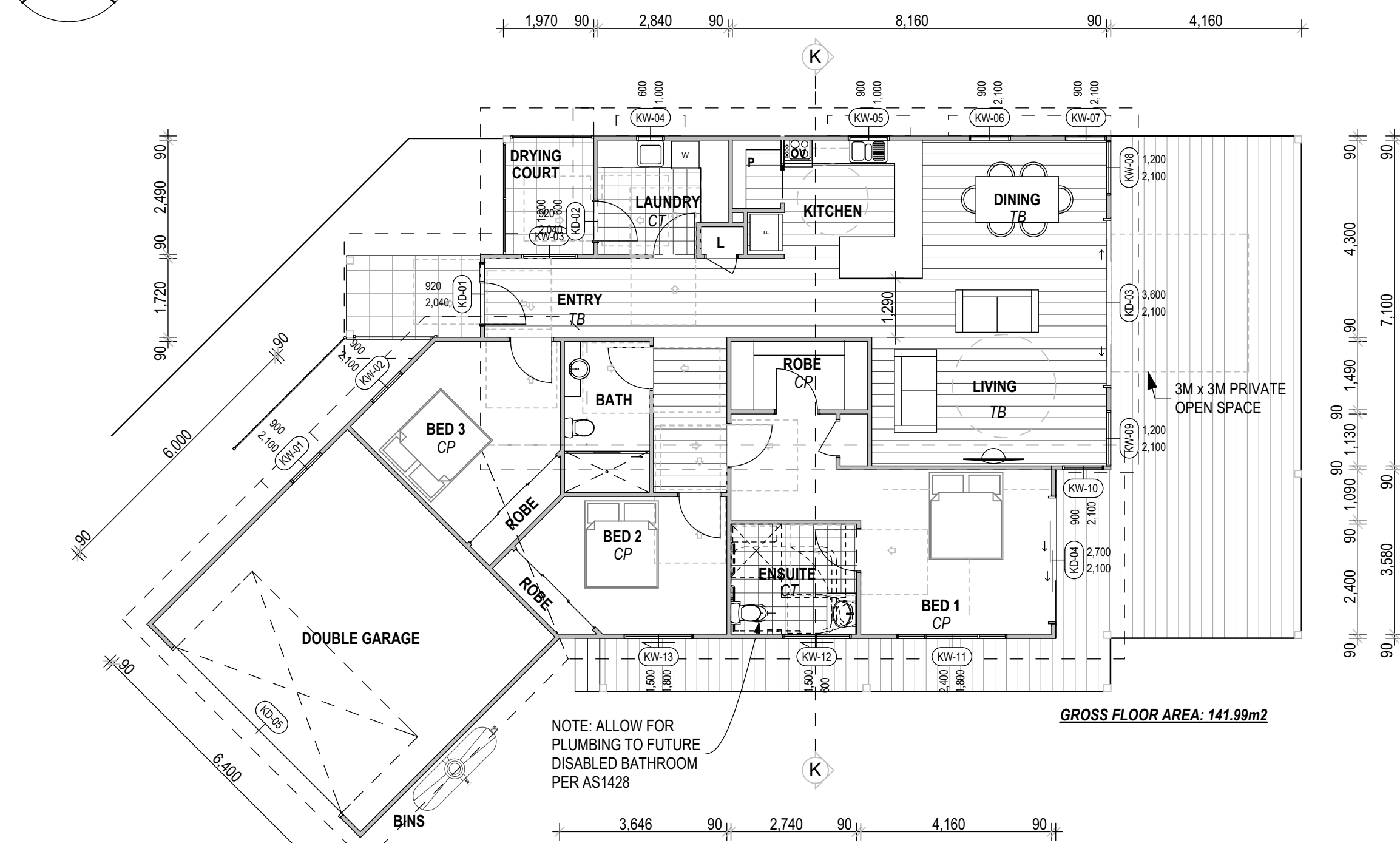
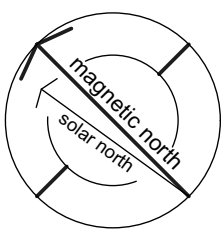
DATE **16-10-19** SHEET NUMBER

DRAWN BY **A M S** **HP 05**

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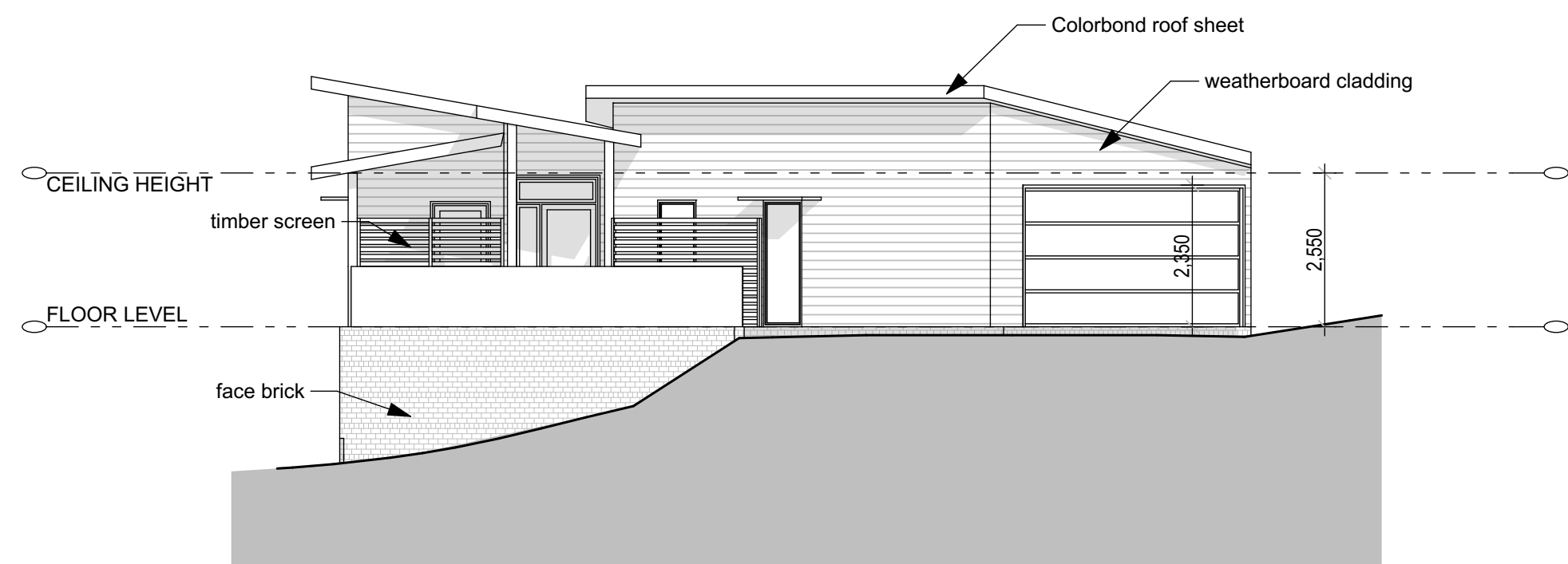
THESE DRAWINGS HAVE BEEN PREPARED FOR DEVELOPMENT APPLICATION

Print date 5/11/2019

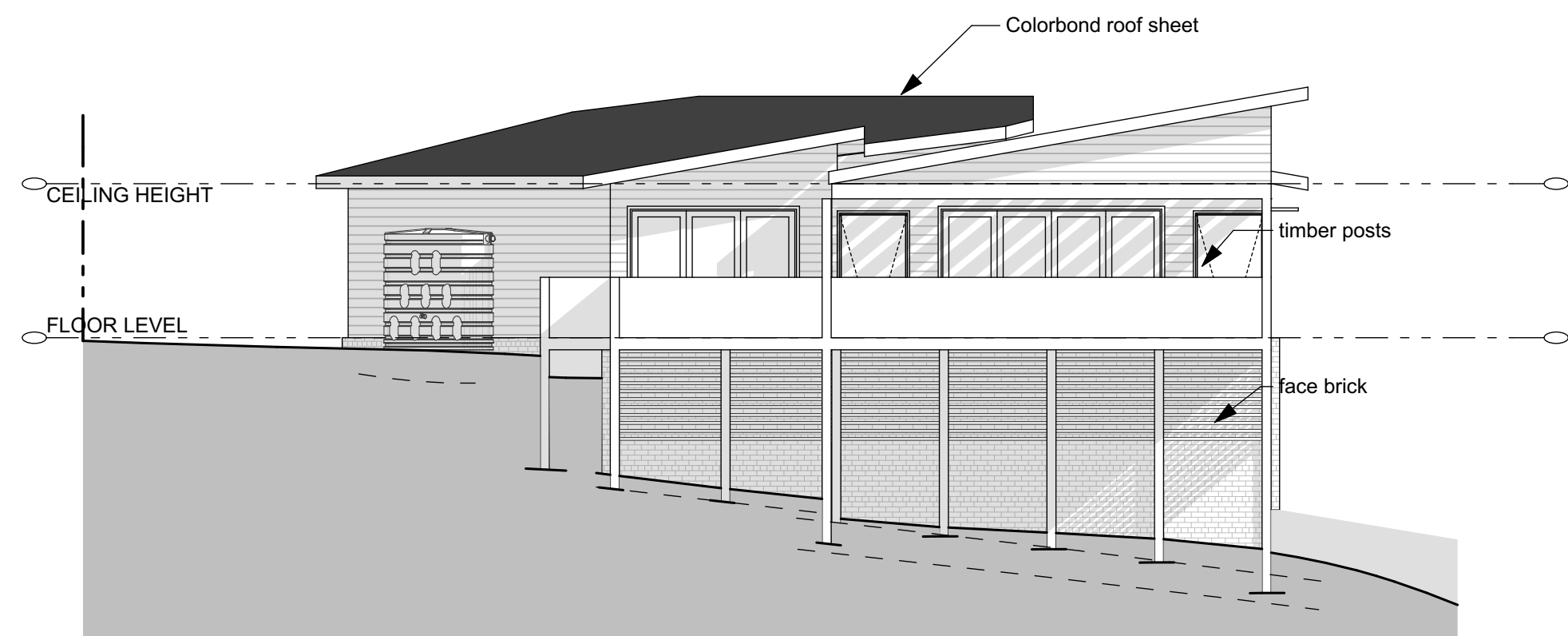


TYPE K - HOUSE 17 - FLOOR PLAN
1:100

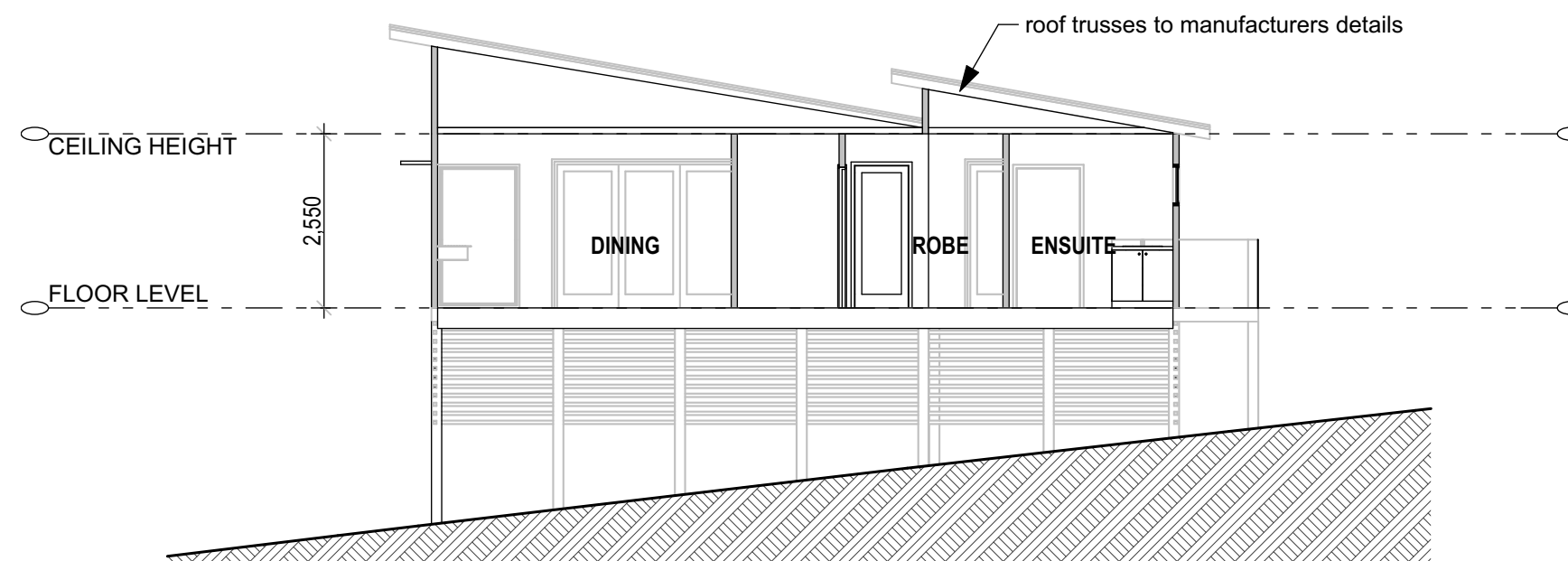
BUSHFIRE NOTE: All houses to reach
BAL 29 bushfire construction level - see notes
for compliance and construction measures required



TYPE K - WEST ELEVATION
1:100



TYPE K - EAST ELEVATION
1:100



TYPE K - SECTION KK
1:100

DOOR SCHEDULE TYPE K HOUSE 19					
ID	KD-01	KD-02	KD-03	KD-04	KD-05
Height	2,040	2,040	2,100	2,100	2,350
Width	920	920	3,600	2,700	5,200
3D Front View					

DOOR SCHEDULE TYPE K HOUSE 17



TYPE K - SOUTH ELEVATION
1:100



TYPE K - NORTH ELEVATION
1:100

BASIX Project Commitments		
Proposed:	Multi-dwelling houses	
Address:	43 Old Saddleback Road, Kiama NSW 2533	
Lot No / DP:	100/751279	
Water (All dwellings)		
Features	Specification	
Shower head rating	3 star (> 4.5 but <= 6.1/min)	
Toilet rating	4 star	
Kitchen taps rating	3 star	
Bathroom taps rating	3 star	
Alternative water details		
Rainwater tank size for every single dwelling	300L	
Connected to:	Garden and lawn areas	
All toilets	Yes	
Laundry	Yes	
Thermal Comfort		
External walls		Requirements
Brick veneer	All houses excl. 19 & 20, unsealed walls as per plans	Medium colour, R1.5Bulk + Foil (reflective both sides)
Weatherboard	Houses 1, 7, 8, 10, 11, 12, 13, 17, 18, 19, 20 & 21, unsealed walls as per plans	Medium colour, R2.1Bulk + Foil (reflective both sides)
Internal walls		
Cavity wall, direct fix plasterboard	All houses	No insulation
Partition walls		
Brick, plasterboard		No insulation
Ceiling		
External ceiling - Plasterboard	All houses	R4.0 bulk insulation
Roof		
Corrugated iron	All houses	Light Colour (solar absorbance <0.475) Anticon Blanket HP R1.8 (Bulk + Foil, Reflective Side Down, Anti-glare up)
Floors		
Concrete slab on ground	All houses	No insulation
Suspended concrete slab	Units 7, 8, 9, 10, 11, 12, 18, 19, 20 & 21	R1.0 bulk insulation
Windows		
Aluminium frame ALM-003-01	All houses; awning windows and hinge doors	Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group A windows (awning, hinge, casement and tilt & turn type windows/doors)
Aluminium frame ALM-004-01	All houses; sliding	Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung)
Downlights		
Downlight Covers	Approved fireproof downlight covers must be installed to all downlights in ceilings where	
Lighting specification	All kitchen/living/hallways on this project will install 100mm diameter LED downlights at a rate of	
Overshadowing details	Adjoining units calculated into model calculations	
Site		
Orientation of nominal north elevation	As shown on plans	
* Approved fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed (to all bathrooms, ensuites and internal laundry's) at the rate of 0.04 metres squared per exhaust fan penetration. If ADDITIONAL downlights are fitted or are not LED, this certification will be invalid unless insulation is added in compliance with NCC (BCA) Vol2, 2014, Table 3.12.1.1 (b) and NCC/BSR protocols. Contact the assessor above if alterations are required.		
Energy (All Dwellings)		
Hot water		Rating
Individual system	Gas instantaneous	6 star
Ventilation		
Bathroom exhaust	Individual fan, not ducted	Manual switch on/off
Kitchen exhaust	Individual fan, not ducted	Manual switch on/off
Laundry	Individual fan, not ducted	Manual switch on/off
Control switch	Individual fan, not ducted	Manual switch on/off
Cooling		
Individual systems - living areas	1-phase airconditioning	5 star
Individual systems - bedroom areas	1-phase airconditioning	5 star
Heating		
Individual systems - living areas	1-phase airconditioning	5 star
Individual systems - bedroom areas	1-phase airconditioning	5 star
Appliances		
Cooktop/oven	Gas cooktop & electric oven	Yes
Ventilated Fridge space	Yes	
Private outdoor clothes drying line	Yes	

WINDOW SCHEDULE TYPE K HOUSE 19				
ID	KW-01	KW-02	KW-03	KW-04
Height	2,100	2,100	600	1,000
Width	900	900	1,200	600
3D Front View				

KW-05	KW-06	KW-07	KW-08	KW-09
1,000	2,100	2,100	2,100	2,100
900	900	900	1,200	1,200

KW-10	KW-11	KW-12	KW-13
2,100	1,800	600	1,800
900	2,400	1,500	1,500

WINDOW SCHEDULE TYPE K HOUSE 17

NOTES

ALL DIMENSIONS TO BE CONFIRMED ON-SITE.

ALL TIMBER WORKS TO COMPLY WITH AS 1684
NATIONAL TIMBER FRAMING CODE
ALL BRICKWORK TO COMPLY WITH AS 3700
MASONRY IN BUILDING

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WALL LEGEND

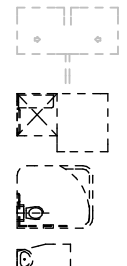
- 90mm timber stud
- 250mm brick veneer with wall insulation
- 230mm double brick

ELECTRICAL LEGEND

- double fluorescent light
- LED recessed downlight
- LED pendant or ceiling mounted
- combined heat lamp/ exhaust fan
- LED wall mounted light

SEPP REQUIREMENTS

Note: This building is to comply with the provisions of SEPP (Housing for Seniors or People with a Disability) 2004. This encompasses access requirements which refer to AS1428 Design for Access and Mobility. The Builder must familiarise himself with both documents, and the conditions which relate to construction, and implement such access requirements therein, whether expressly detailed in these plans or not. Any amendments to the plans require adherence to the same guidelines.



Circulation space required around doorways

Circulation space required for showers

Circulation space required around toilets

Circulation space required around handbasins

AMENDMENTS

REV	AMENDMENT	DATE	BY

PROJECT :

**PROPOSED SENIORS
LIVING ESTATE**
at LOT 17 DP 1210621 (Formerly Part
Lot 100 DP 751279), 43 Old Saddleback
Road
KIAMA NSW

CLIENT :

**WERITON
PROPERTIES**

DRAWING :

**TYPE K - HOUSE 17 -
PLANS, ELEVATIONS,
SECTION**

CSA JOB NO. : **610-12-331**

SCALES **as shown** No. IN SET **11 of 17**

DATE **16-10-19**

DRAWN BY
AMS

SHEET
NUMBER

HP 06

Print date 5/11/2019

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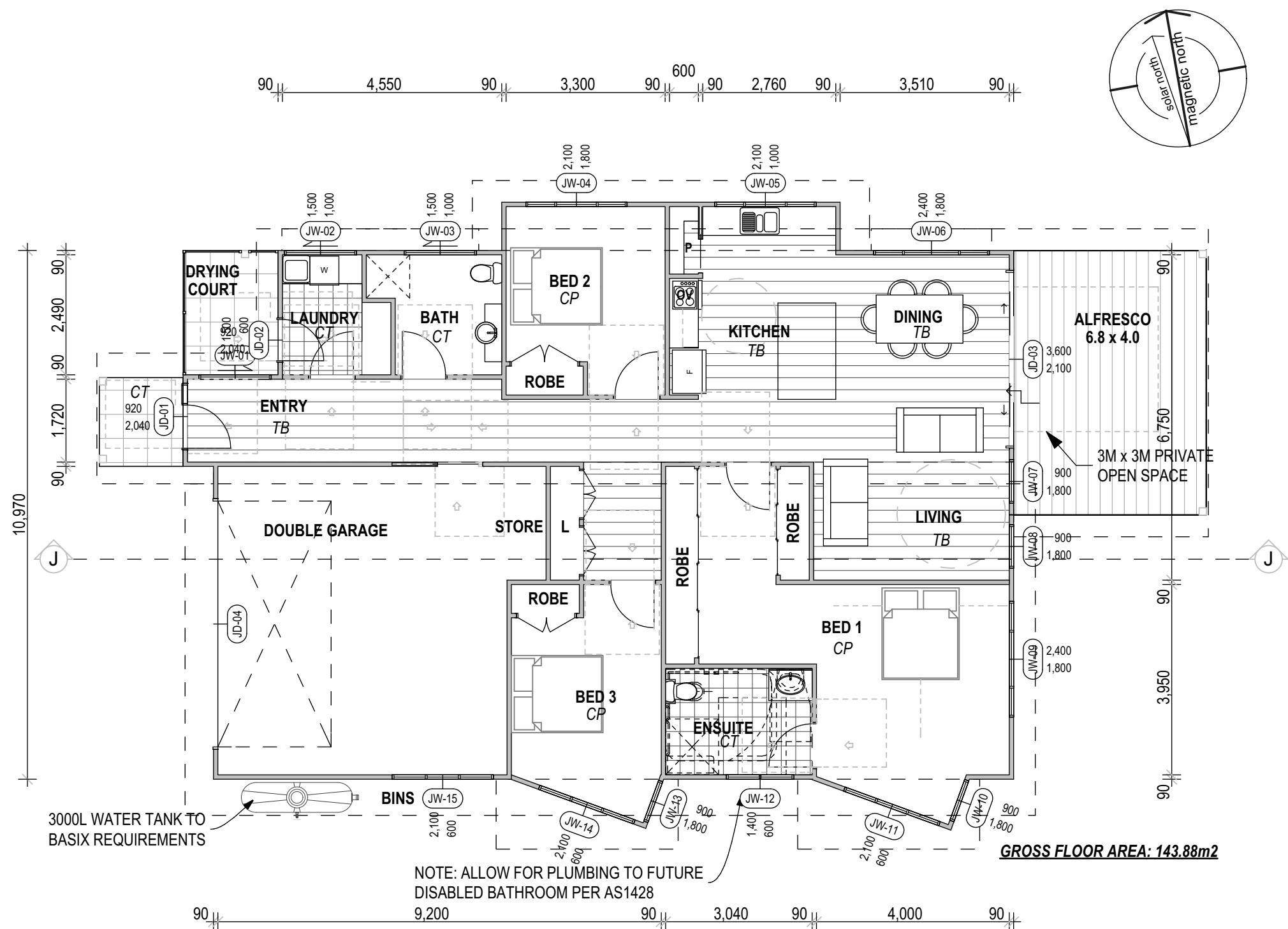
1 EAST STREET ■ MOSS VALE ■ NSW 2577
PO BOX 2072 ■ BOWRAL ■ NSW 2576
Ph 02 4869 5395 ■ Fax 02 4869 5495 ■ cs.arch@bigpond.net.au
Andrew Coble Architects Registration 6922 Alison Stephens Architects Registration 6678

SCALE
0 1.0 2.0 3.0 4.0 5.0
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DEVELOPMENT APPLICATION

FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING 200

300mm ON ORIGINAL

A1 0 10 20 30 40 50 60 70 80 90 100 ALL DIMENSIONS TO BE CHECKED ON SITE

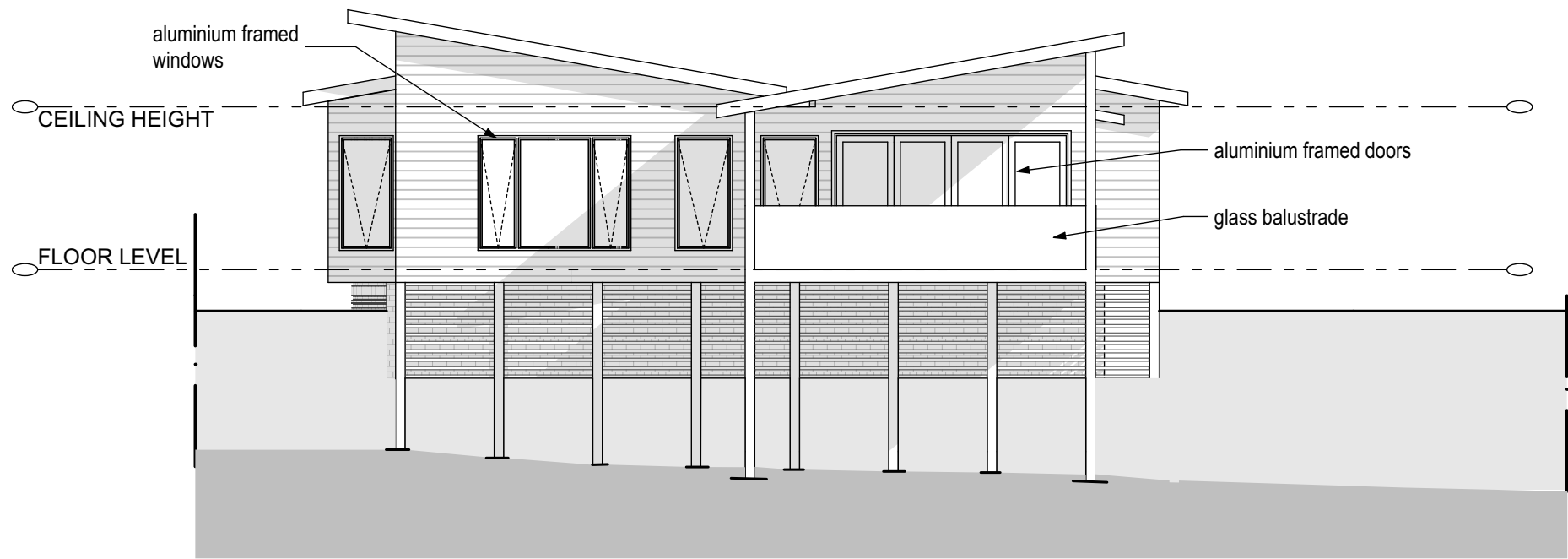


TYPE J - HOUSE 18 - FLOOR PLAN
1:100

BUSHFIRE NOTE: All houses to reach
BAL 29 bushfire construction level - see notes
for compliance and construction measures required



TYPE J - WEST ELEVATION
1:100

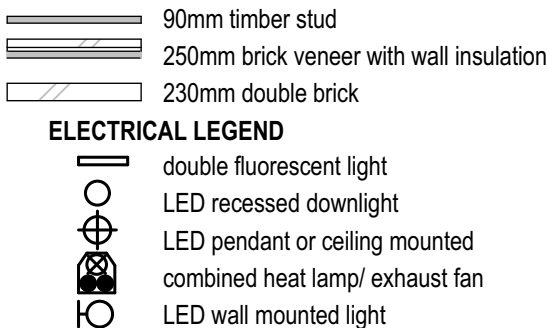


TYPE J - EAST ELEVATION
1:100

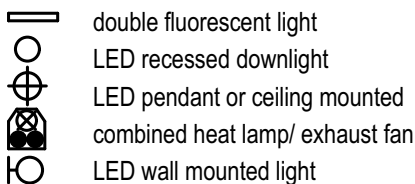
NOTES

ALL DIMENSIONS TO BE CONFIRMED ON-SITE.
ALL TIMBER WORKS TO COMPLY WITH AS 1684
NATIONAL TIMBER FRAMING CODE
ALL BRICKWORK TO COMPLY WITH AS 3700
MASONRY IN BUILDING
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WALL LEGEND

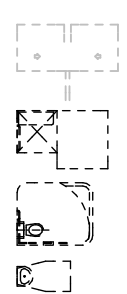


ELECTRICAL LEGEND



SEPP REQUIREMENTS

Note: This building is to comply with the provisions of SEPP
(Housing for Seniors or People with a Disability) 2004. This
encompasses access requirements which refer to AS1428
Design for Access and Mobility. The Builder must familiarise
himself with both documents, and the conditions which relate
to construction, and implement such access requirements
therein, whether expressly detailed in these plans or not.
Any amendments to the plans require adherence to the
same guidelines.



Circulation space required around doorways
Circulation space required for showers
Circulation space required around toilets
Circulation space required around handbasins

AMENDMENTS

REV	AMENDMENT	DATE	BY

PROJECT :

**PROPOSED SENIORS
LIVING ESTATE**
at LOT 17 DP 1210621 (Formerly Part
Lot 100 DP 751279), 43 Old Saddleback
Road
KIAMA NSW

CLIENT :

**WERITON
PROPERTIES**

DRAWING :

**TYPE J - HOUSE 18 -
PLANS, ELEVATIONS,
SECTION**

CSA JOB NO. : **610-12-331**

SCALES **as shown** No. IN SET **12 of 17**

DATE **16-10-19**

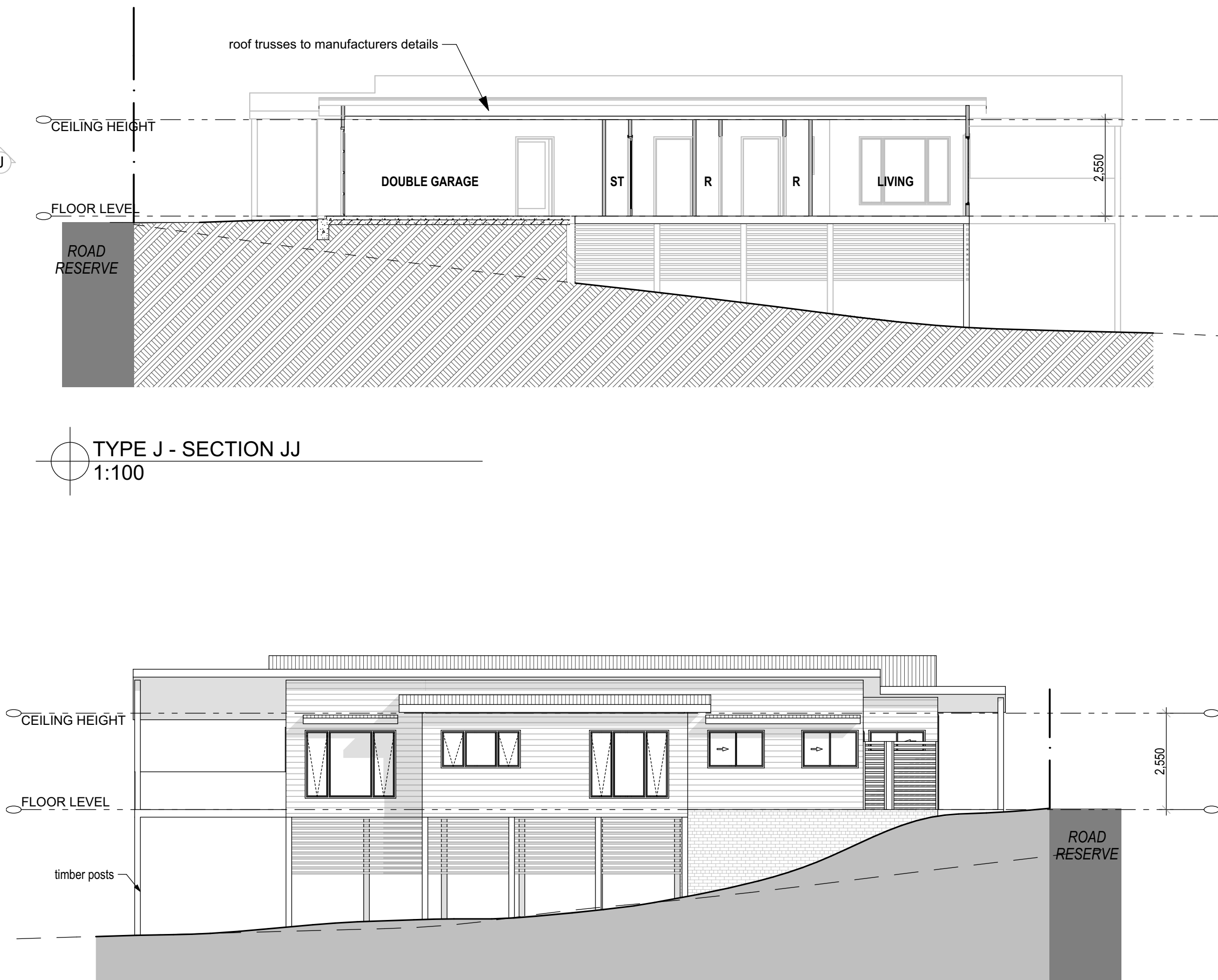
DRAWN BY **AMS**

SHEET
NUMBER

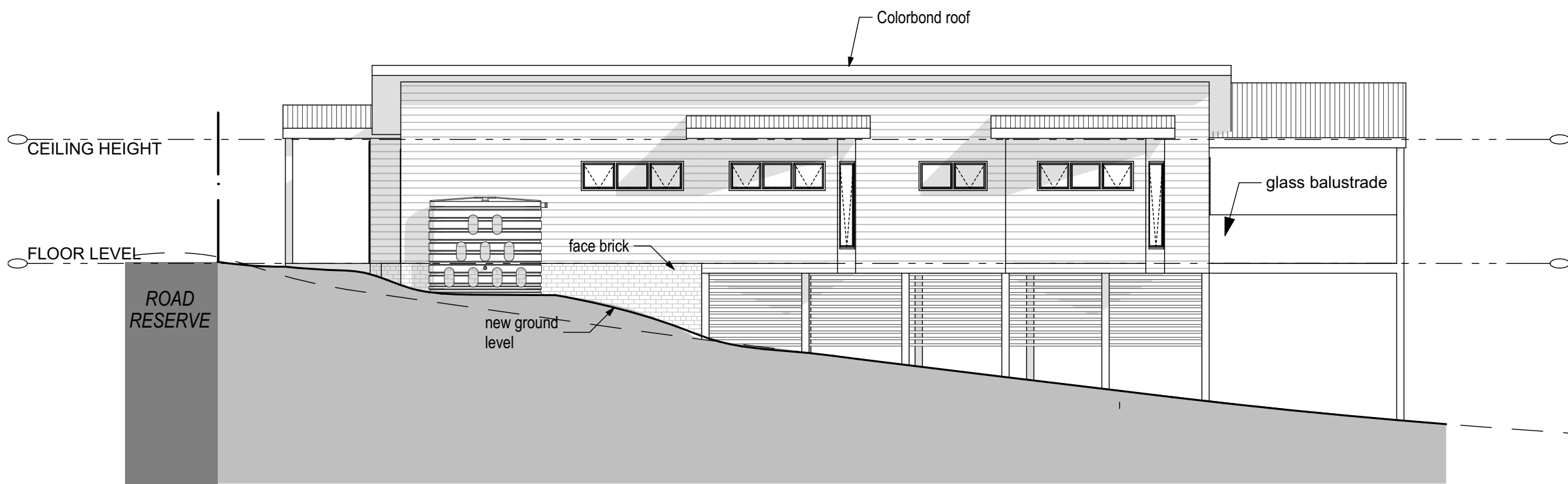
HP 07

Print date 5/11/2019

TYPE J - SECTION JJ
1:100



TYPE J - NORTH ELEVATION
1:100



TYPE J - SOUTH ELEVATION
1:100

WINDOW SCHEDULE TYPE J HOUSE 8, 9, 10, 20						
ID	JW-01	JW-02	JW-03	JW-04	JW-05	JW-06
Height	600	1,000	1,000	1,800	1,000	1,800
Width	1,500	1,500	1,500	2,100	2,100	2,400
3D Front View						

JW-07	JW-08	JW-09	JW-10	JW-11	JW-12	JW-13
1,800	1,800	1,800	1,800	600	600	1,800
900	900	2,400	900	2,100	1,400	900

JW-14	JW-15
600	600
2,100	2,100

WINDOW SCHEDULE TYPE J HOUSE 18

DOOR SCHEDULE TYPE J HOUSE 8, 9, 10, 20				
ID	JD-01	JD-02	JD-03	JD-04
Height	2,040	2,040	2,100	2,350
Width	920	920	3,600	5,200
3D Front View				

DOOR SCHEDULE TYPE J HOUSE 18

BASIX Project Commitments

Proposed: Multi-dwelling houses
Address: 43 Old Saddleback Road, Kiama NSW 2533
Lot No / DP: 100/753279

Water (All dwellings)

Fixtures	Specification
Shower head rating	3 star (> 4.5 but <= 6 Litres/min)
Toilet rating	4 star
Kitchen taps rating	3 star
Bathroom taps rating	3 star

Alternative water details

Reinwater tank size for every single dwelling	3000L
Connected to:	Yes
Garden and lawn areas	Yes
Laundry	Yes

Thermal Comfort

External walls	Requirements
Brick veneer	All houses excl. 19 & 20: insulated walls as per plans Houses 1, 7, 8, 10, 11, 12, 13, 17, 18, 19, 20 & 21: insulated walls as per plans
Weatherboard	Medium colour, R2.1bulk + Foil (reflective both sides)

Internal walls

Cavity wall, direct fix plasterboard	All houses	No insulation
--------------------------------------	------------	---------------

Partition walls

Brick, plasterboard	No insulation
---------------------	---------------

Ceiling

External ceiling - Plasterboard	All houses	R4.0 bulk insulation
---------------------------------	------------	----------------------

Roof

Corrugated iron	All houses	Light Colour (solar absorbance <0.475) Aniscon Blanket HP R1.0 (bulk + Foil, Reflective Side Down, Anti-glare up)
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Floor

Concrete slab on ground	All houses	No insulation
Suspended concrete slab	Units 7, 8, 9, 10, 11, 12, 13, 19, 20 & 21	R1.0 bulk insulation

Windows

Downlights	
Downlight Covers	Approved fireproof downlight covers must be installed to all downlights in ceilings where
Lighting specification	All kitchen/living/hallways on this project will install 100mm diameter LED downlights a

Downlights

Downlight Covers	Approved fireproof downlight covers must be installed to all downlights in ceilings where:
Lighting specification	All kitchen/hallways on this project will install 300mm diameter LED downlights at a rate of

Overshadowing details

Adjoining units calculated into model calculations
--

Site

Orientation of nominal north elevation	As shown on plans
--	-------------------

* Approved fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed (to all
bathrooms, ensuites and internal laundry's) at the rate of 0.04 meters squared per exhaust fan penetration.
ADDITIONAL downlights are fitted or are not LED. This certification will be invalid unless insulation is added in compliance with NCC (BCA) Vol 2, 2014 Table 3.12.1.1 (b) and
NATIER ES protocols. Contact the assessor above if alterations are required.

Energy (All Dwellings)

Hot water	Specification	Rating
Individual system	Gas instantaneous	6 star

Ventilation

Bathroom exhaust	Individual fan, not ducted	Manual switch on/off
Kitchen exhaust	Individual fan, not ducted	Manual switch on/off
Laundry	Individual fan, not ducted	Manual switch on/off
Control switch	Individual fan, not ducted	Manual switch on/off

Cooling

Individual systems - living areas	1-phase airconditioning	5 star
Individual systems - bedroom areas	1-phase airconditioning	5 star

Heating

Individual systems - living areas	1-phase airconditioning	5 star
Individual systems - bedroom areas	1-phase airconditioning	5 star

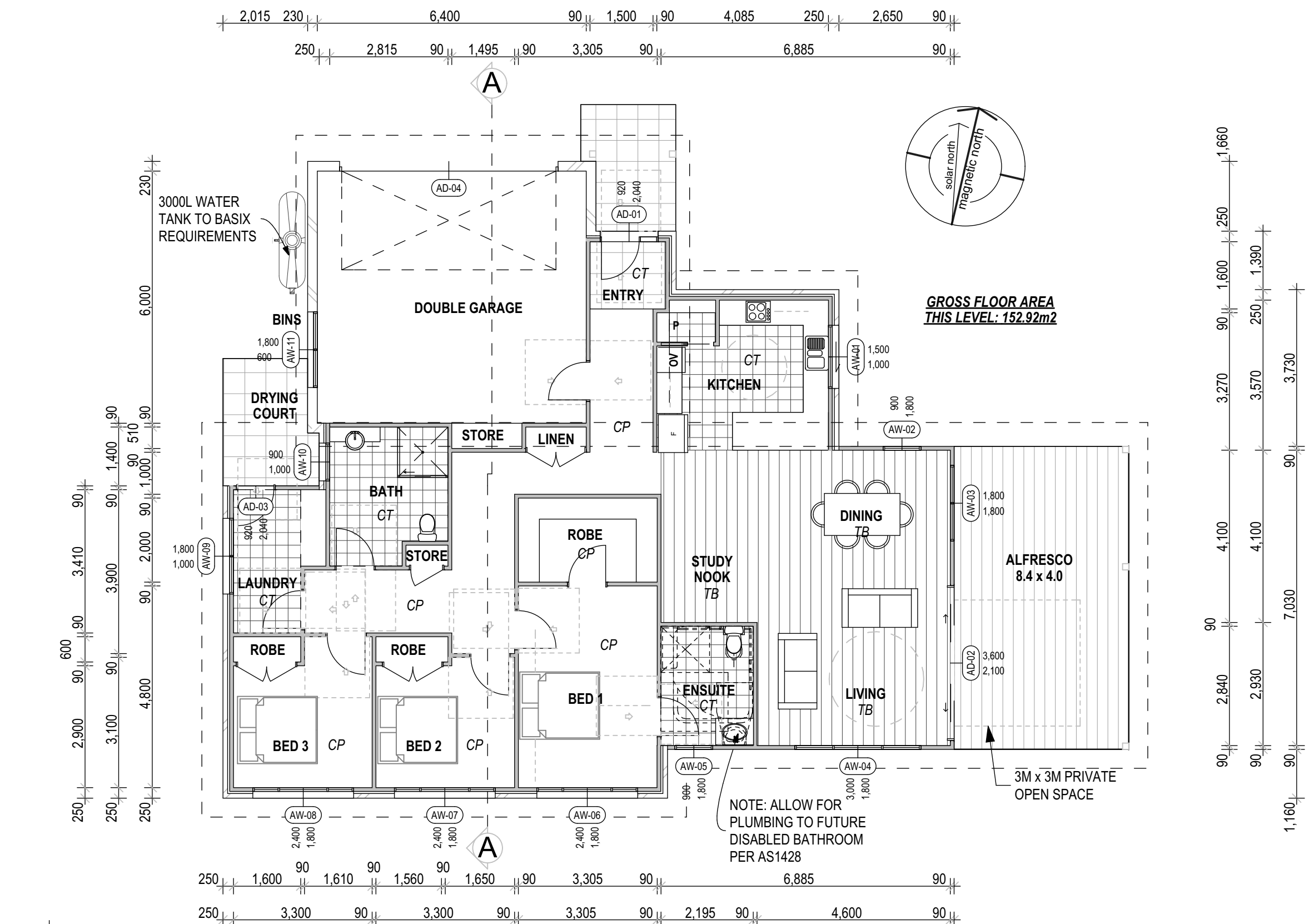
Appliances

Gas cooktop & electric oven	Yes
Ventilated fridge space	Yes
Private outdoor clothes drying line	Yes

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SCALE
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DEVELOPMENT APPLICATION

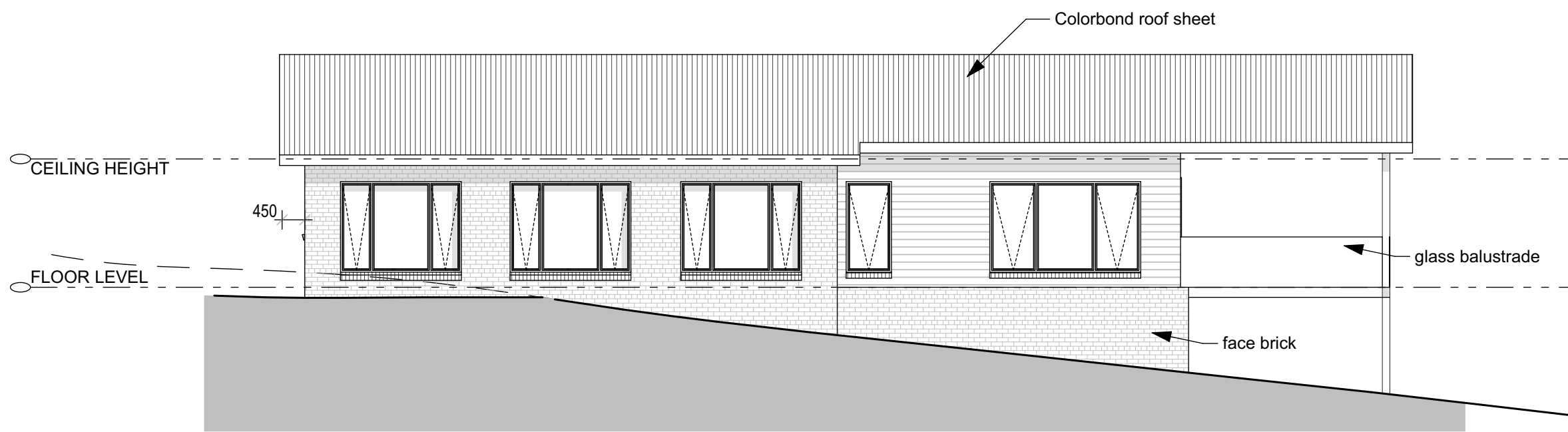


TYPE A - HOUSE 19 PLAN
1:100









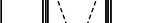




BUSHFIRE NOTE: All houses to reach
BAL 29 bushfire construction level - see notes
for compliance and construction measures required



TYPE A - NORTH ELEVATION
1:100



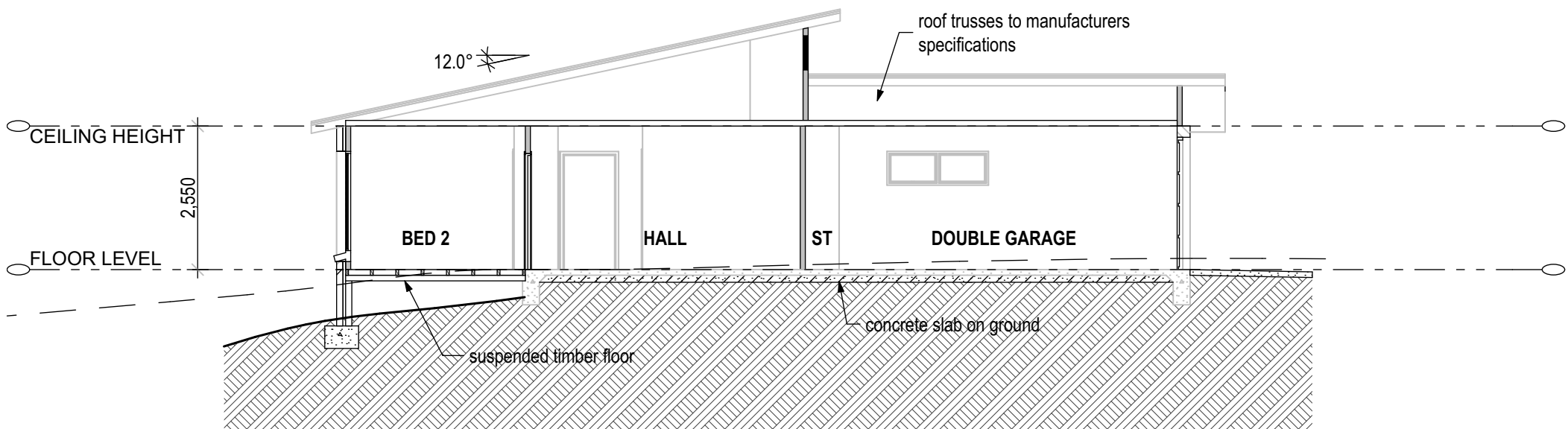
TYPE A - SOUTH ELEVATION
1:100

Window List Type A														
ID	AW-01	AW-02	AW-03	AW-04	AW-05	AW-06	AW-07	AW-08	AW-09	AW-10	AW-11	AW-12	AW-13	AW-14
Height	1,000	1,800	1,800	1,800	1,800	1,800	1,800	1,800	1,000	1,000	600	1,200	600	600
Width	1,500	900	1,800	3,000	900	2,400	2,400	2,400	1,800	900	1,800	900	2,700	900
3D Front View														

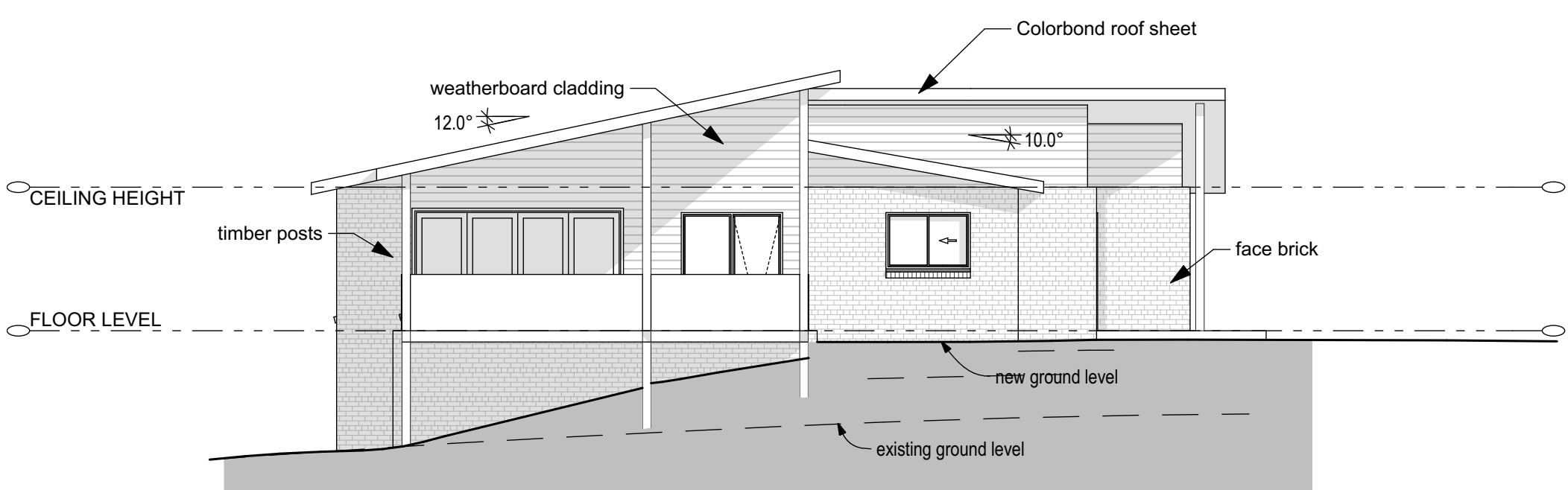
WINDOW SCHEDULE TYPE A HOUSE 19

Door Schedule Type A House 21				
ID	AD-01	AD-02	AD-03	AD-04
Height	2,040	2,100	2,040	2,350
Width	920	3,600	920	5,200
3D Front View				

DOOR SCHEDULE TYPE A HOUSE 19



TYPE A - SECTION AA
1:100



TYPE A - EAST ELEVATION
1:100



TYPE A - WEST ELEVATION
1:100

BASIX Project Commitments	
Proposed: Multi-dwelling houses	
Address: 43 Old Saddleback Road, Kiama NSW 2533	
Lot No / DP: 100/751279	
Water (All dwellings)	Specification
Shower head rating	3 star (≥ 4.5 but < 6 L/min)
Toilet rating	4 star
Kitchen taps rating	3 star
Bathroom taps rating	3 star
Alternative water details	
Rainwater tank size for every single dwelling	3000L
Connected to:	Garden and lawn areas
	All toilets
	Laundry
	Yes
	Yes
	Yes
Thermal Comfort	Requirements
External walls	
Brick veneer	All houses incl. 15 & 20 Medium colour, R1.5Bulk + Foil (reflective both sides)
Weatherboard	Houses 1, 7, 8, 10, 11, 12, 13, 17, 18, 19, 20 & 21 Medium colour, R2.1Bulk + Foil (reflective both sides)
Internal walls	
Cavity wall, direct fix plasterboard	All houses
Partition walls	No insulation
Brick, plasterboard	No insulation
Ceiling	
External ceiling - Plasterboard	All houses
Roof	R4.0 bulk insulation
Light Colour (solar absorbance < 0.475)	All houses
Anticon Blanket HP R1.8 (Bulk + Foil, Reflective Side Down, Anti-glare up)	
Floors	
Concrete slab on ground	All houses
No insulation	
Suspended concrete slab	Units 7, 8, 9, 10, 11, 12, 13, 19, 20 & 21
R1.0 bulk insulation	
Windows	
Aluminium frame ALM-003-01	All houses; swing windows
Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group A windows (permeating, bifold, casement and tilt 'n' turn type windows/doors)	
Aluminium frame ALM-004-01	All houses; sliding
Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung, and hinge doors)	
Downlights	
Downlight covers	Approved fireproof downlight covers must be installed to all downlights in ceilings where
Lighting specification	All Kitchen/Living/hallways on this project will install 100mm diameter LED downlights at a rate of
Overshading details	
	Adjoining units calculated into model calculations
Site	
Orientation of nominal north elevation	As shown on plans
* Approved fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed to all bathrooms, ensuites and internal laundry's at the rate of 0.04 meters squared per exhaust fan penetration. If ADDITIONAL downlights are fitted or are not LED, this certification will be invalid unless insulation is added in compliance with NCC (BCA) Vol 2, 2014, Table 3.3.2.1.1 (b) and NASHERS protocols. Contact the assessor above if alterations are required.	

Energy (All Dwellings)		
Hot water	Specification	Rating
Individual system	Gas instantaneous	6 star
Ventilation		
Bathroom exhaust	Individual fan, not ducted	Manual switch on/off
Kitchen exhaust	Individual fan, not ducted	Manual switch on/off
Laundry	Individual fan, not ducted	Manual switch on/off
Control switch	Manual switch on/off	Manual switch on/off
Control switch	Manual switch on/off	Manual switch on/off
Cooling		
Individual systems - living areas	1-phase airconditioning	5 star
Individual systems - bedroom areas	1-phase airconditioning	5 star
Heating		
Individual systems - living areas	1-phase airconditioning	5 star
Individual systems - bedroom areas	1-phase airconditioning	5 star
Appliances		
Cooktop/oven	Gas cooktop & electric oven	Yes
Ventilated fridge space	Yes	Yes
Private outdoor clothes drying line	Yes	Yes

NOTES

ALL DIMENSIONS TO BE CONFIRMED ON-SITE.

ALL TIMBER WORKS TO COMPLY WITH AS 1684 NATIONAL TIMBER FRAMING CODE

ALL BRICKWORK TO COMPLY WITH AS 3700 MASONRY IN BUILDING

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WALL LEGEND

- 90mm timber stud
- 250mm brick veneer with wall insulation
- 230mm double brick

ELECTRICAL LEGEND

- double fluorescent light
- LED recessed downlight
- LED pendant or ceiling mounted combined heat lamp/ exhaust fan
- LED wall mounted light

SEPP REQUIREMENTS

Note: This building is to comply with the provisions of SEPP (Housing for Seniors or People with a Disability) 2004. This encompasses access requirements which refer to AS1428 Design for Access and Mobility. The Builder must familiarise himself with both documents, and the conditions which relate to construction, and implement such access requirements therein, whether expressly detailed in these plans or not. Any amendments to the plans require adherence to the same guidelines.

- Circulation space required around doorways
- Circulation space required for showers
- Circulation space required around toilets
- Circulation space required around handbasins

FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING 200

ALL DIMENSIONS TO BE CHECKED ON SITE

300mm ON ORIGINAL

AMENDMENTS			
REV	AMENDMENT	DATE	BY
A	Issued for Basix/ Natethers	19-12-17	AMS
B	Houses converted to single storey, roofs altered	29-06-18	AMS

PROJECT :
**PROPOSED SENIORS
LIVING ESTATE**
at LOT 17 DP 1210621 (Formerly Part
Lot 100 DP 751279), 43 Old Saddleback
Road
KIAMA NSW

CLIENT : **WERITON
PROPERTIES**
DRAWING :
**TYPE A - HOUSE 19 -
PLANS, ELEVATIONS,
SECTION**

CSA JOB NO. : 610-12-331	No. IN SET 13 of 17
DATE 16-10-19	SHEET NUMBER HP 08
DRAWN BY AMS	

Print date 5/11/2019

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